

DRAWING SCHEDULE

DEVELOPMENT APPLICATION  
ARCHITECTURAL DRAWINGS 18-0040.1

DA01 A	SITE CONTEXT
DA01 B	SITE CONTEXT
DA01 C	SITE CONTEXT/ SUSCEPTIBILITY TO CHANGE
DA02 A	SITE ANALYSIS
DA02 B	PROJECT STORY BOARD
DA03	SITE PLAN
DA04	LOWER GROUND LANDSCAPE PLAN
DA05	GROUND FLOOR
DA06	FIRST FLOOR
DA07	SECOND FLOOR
DA08	THIRD FLOOR
DA09	ROOF
DA10	ELEVATIONS 1
DA11	ELEVATIONS 2
DA12	SECTIONS
DA13	SHADOW DIAGRAM
DA14	WINTER SOLAR ACCESS - VENTILATION DIAGRAM 1
DA15	WINTER SOLAR ACCESS - VENTILATION DIAGRAM 2
DA16	WINTER SOLAR ACCESS - VENTILATION DIAGRAM 3
DA17	3D VIEW 1
DA18	LANDSCAPE SECTIONS

DA19	PLANTING SCHEDULE & DETAILS
DA20	PLANTING PLAN - LOWER GROUND FLOOR
DA21	PLANTING PLAN - FIRST FLOOR
DA22	PLANTING PLAN - THIRD FLOOR
DA23	AREA PLAN - GROUND FLOOR
DA24	AREA PLAN - FIRST FLOOR
DA25	AREA PLAN - SECOND FLOOR
DA26	AREA PLAN - THIRD FLOOR
DA27	WINTER SOLAR ACCESS - 9AM (FROM SUN ANGLE VIEWS)
DA28	WINTER SOLAR ACCESS - 10AM (FROM SUN ANGLE VIEWS)
DA29	WINTER SOLAR ACCESS - 11AM (FROM SUN ANGLE VIEWS)
DA30	WINTER SOLAR ACCESS - 12PM (FROM SUN ANGLE VIEWS)
DA31	WINTER SOLAR ACCESS - 1PM (FROM SUN ANGLE VIEWS)
DA32	WINTER SOLAR ACCESS - 2PM (FROM SUN ANGLE VIEWS)
DA33	WINTER SOLAR ACCESS - 3PM (FROM SUN ANGLE VIEWS)
DA34	VIEW LINE ANALYSIS 1
DA35	VIEW LINE ANALYSIS 2
DA36	BUILDING HEIGHT ENVELOPE
DA37A	SITE CONTEXT GROUND
DA37B	SITE CONTEXT FIRST
DA37C	SITE CONTEXT SECOND
DA37D	SITE CONTEXT THIRD
DA38A	VIEW DIAGRAMS
DA38B	VIEW DIAGRAMS
DA39	CONSTRUCTION DETAIL

SURVEY U17870  
1 CONTOUR AND DETAIL SURVEY  
  
STORMWATER  
1-4 STORMWATER MANAGEMENT CONCEPT PLAN



Image obtained from google earth. Not to scale



5.8

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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#HR-WJ3FY5-01 07/09/2022

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 8-12 Princes Highway, Mollymook, NSW, 2539



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Land and Environment Court of NSW

LEC No: 2021/00329677 DA20/1466

Date: 27/1/2023

Proposed Residential Development

For R&G Creations

At 8-12 Princes Highway,  
Mollymook NSW 2539



Edmiston Jones

Wollongong

Level 1,147 Crown Street, Wollongong NSW 2500

T: 02 4226 1387

Nowra

92 North Street Nowra, NSW 2541

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Batemans Bay

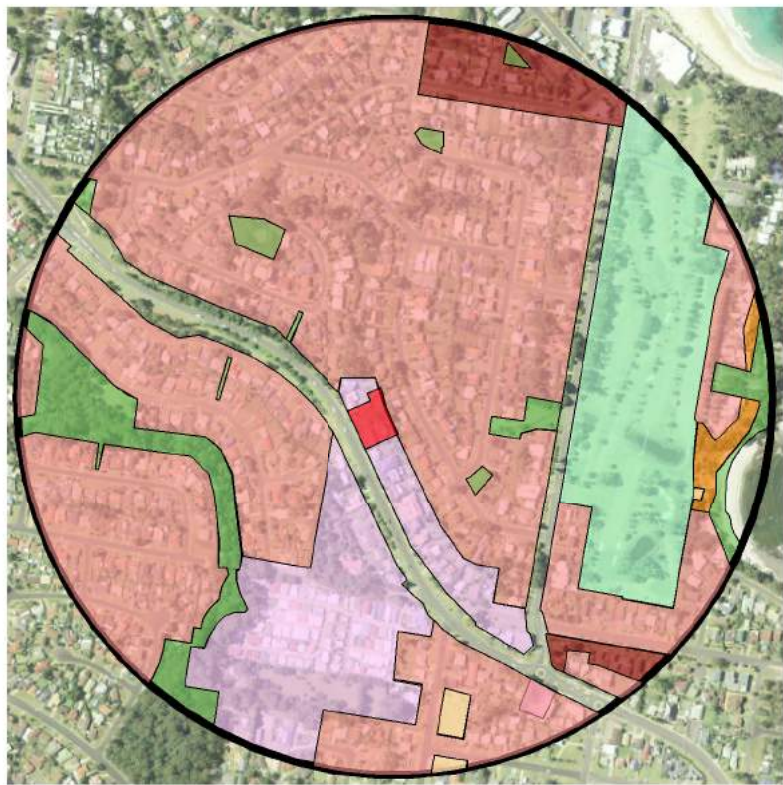
1 North Street Batemans Bay NSW 2536

T: 02 4472 7388

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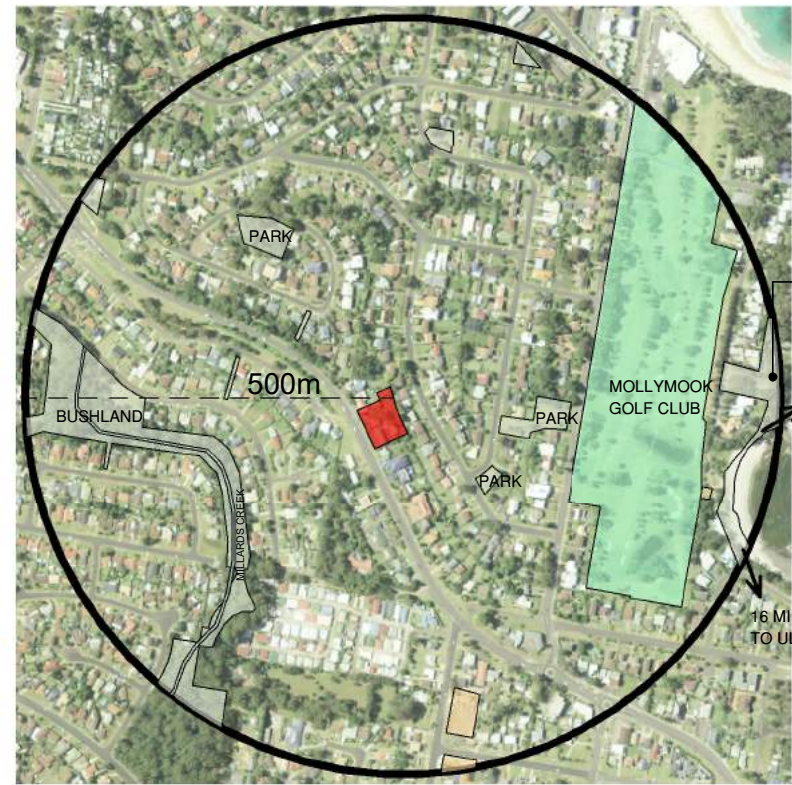
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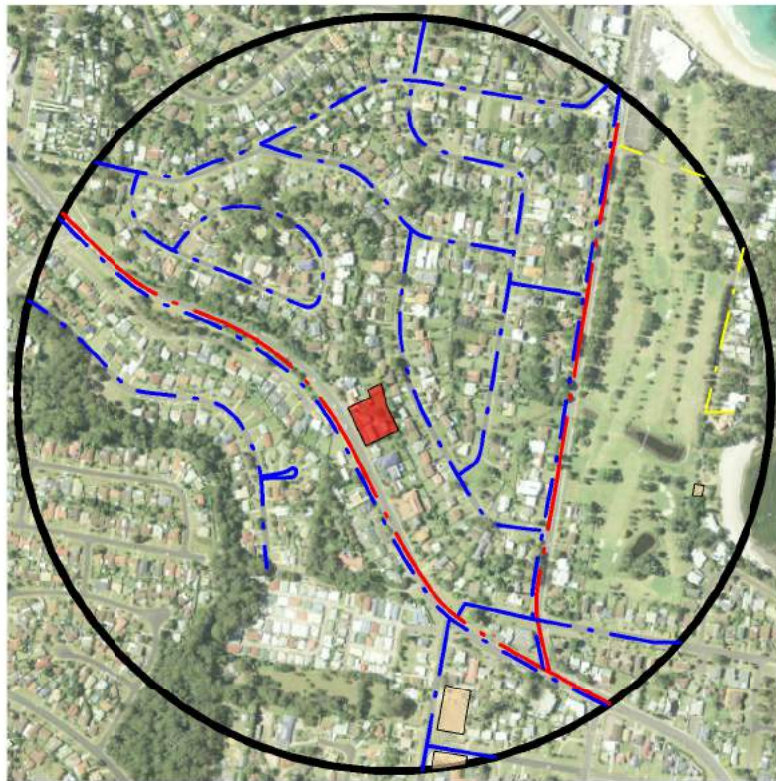
- R1 - General Residential
- R2 - Low Density Residential
- RE1 - Public Recreation
- RE2 - Private Recreation
- C2 - Environmental Conservation
- SP2 - Infrastructure
- SITE (R1)

## ZONE



- Parks and Bushland
- Golf Course
- SITE

## OPEN SPACES



- Main Road
- Pedestrian
- Access Road to Beach
- SITE

## MOVEMENT

**APPROVED**

**Land and Environment Court of NSW**

**LEC No: 2021/00329677      DA20/1466**

**Date: 27/1/2023**

**#HR-WJ3FY5-01 07/09/2022**

**Assessor** Manuel Basiri

**Accreditation No.** DMN/12/1462

**Address** 8-12 Princes Highway, Mollymook, NSW, 2539

**5.8 Average star rating**

**NATIONWIDE HOUSE ENERGY RATING SCHEME**

**www.nathers.gov.au**

**http://www.hero-software.com.au/pdf/HR-WJ3FY5-01**

**Eco Certificates Pty Ltd**  
info@ecocertificates.com.au  
1300 16 24 36  
PO Box 5172 South Turramurra NSW 2074

**Building Components Performance and Specifications Schedule**  
**NatHERS Thermal Comfort Modeling**

These are the specifications upon which the certified NatHERS assessment is based. Any deviation from these specifications will invalidate the NatHERS certificate and therefore voids compliance of the development with the National Construction Code of Australia 2016 and 2019. In case of any variation from these specifications contact Eco Certificates Pty Ltd to obtain updated NatHERS and BASIX certificates and an updated copy of these specifications.

**Assessment Date:** 07 / 09 / 2022  
**Assessor:** Manuel Basiri - DMN Accredited Assessor DMN/12/1462 / MIEAust  
**Thermal Modeling Software:** HERO 3.0.1.1  
**Development:** EC - 4522 - 8-12 Princes Highway, Mollymook NSW

Windows and Skylights			
Description	Type	U Value	SHGC
1 All external windows and glazed doors of units 8, 10, 11, 16, 19, 24, 26, 28	Aluminium Frame Double Glazed Clear	4.1	0.52
2 All external windows and glazed doors of units 20, 21	Aluminium Frame Double Glazed Clear	4.3	0.47
3 All external windows and glazed doors of units 5, 9, 13, 23, 27	Aluminium Frame Double Glazed Clear	4.8	0.59
4 All external windows and glazed doors of all other units	Aluminium Frame Single Glazed Clear	6.7	0.7
5 All skylights	VELUX Fixed Skylight Double Glazed Clear	2.53	0.21

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Note that the NatHERS Technical Notes 2019 allows only a 5% tolerance for the SHGC value however this is overridden by BASIX Thermal Comfort Protocol to be 10%.

External and Internal Walls			
Description	Construction Type	Insulation	Colour (Solar Absorbance)
1 All external walls of all units	Brick Veneer, Framed Cladding	R 2.0	Medium (0.30 < SA < 0.85)
2 All internal walls of all units	Plasterboard on Studs	None	N/A
3 All party walls of all units	Light weight Stud Framing with Hebel	None	N/A
4 All common area walls of all units	Light weight Stud Framing with Hebel	R 2.0	N/A

The solar absorbance values are as per definition of Light, Medium and Dark Colours in the thermal modelling software and the naming might differ according to the BASIX thermal comfort protocol 2017.

Floors			
Description	Construction Type	Insulation	Floor Covering
1 All floors above carpark and outside air	Concrete	R 1.0	Not Specified (Defaults Applied)
2 All other floors	Concrete	None	Not Specified (Defaults Applied)

Ceilings and Roofs			
Description	Construction Type	Insulation	Colour (Solar Absorbance)
1 All ceilings under balcony and roof areas	Plasterboard	R 3.0	N/A
2 All roofs	Concrete, Metal Cladding	None	Medium (0.30 < SA < 0.85)

Ceiling penetration(s) as a result of installation of sealed recessed downlights and other penetrating elements are being considered in the NatHERS thermal comfort modelling associated with this specifications schedule. If unsealed recessed downlights or other unsealed penetrations are introduced to the ceiling insulation of the project at a later stage, the NatHERS certificate associated with this specification and the BASIX certificate of this development, if any, would become invalid and must be updated.

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539

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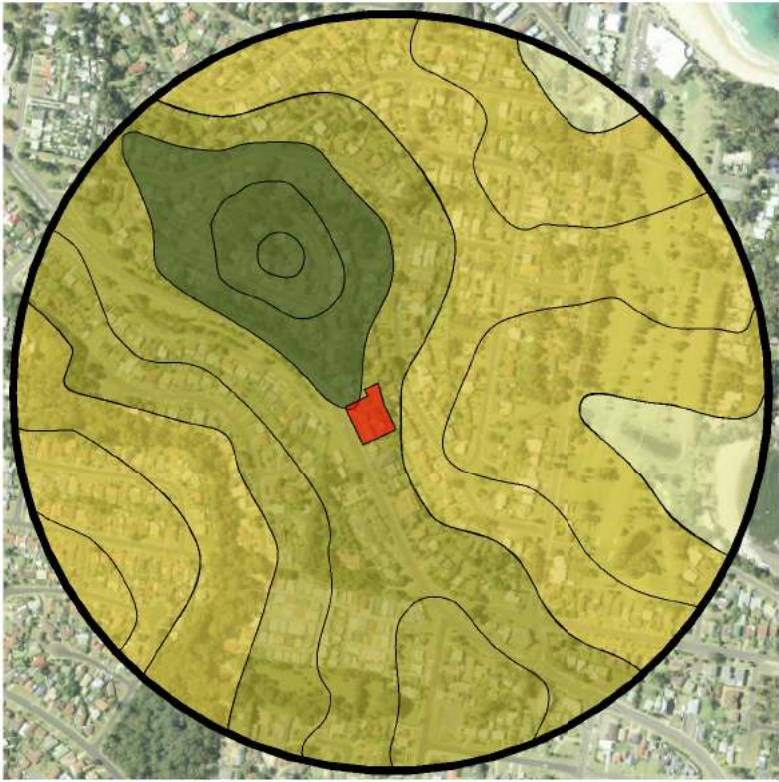
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REV.	DESCRIPTION	DATE	DRAWING TITLE		PROJECT #:	18-0040.1
P1	ISSUED TO REVIEW	31/05/22	SITE CONTEXT		SCALE:	1 : 10000 @ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22			DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22			DRAWN:	AC
P4	REVISIONS FROM CONCILIATION MEETING	31/08/22			CHECKED:	Checker
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HEIGHT



CONTOUR



KEY SITES

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**Land and Environment Court of NSW**

**LEC No: 2021/00329677      DA20/1466**

**Date: 27/1/2023**

**#HR-WJ3FY5-01 07/09/2022**

**Assessor** Manuel Basiri

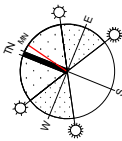
**Accreditation No.** DMN/12/1462

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DRAWING TITLE	
SITE CONTEXT	
PROJECT #: 18-0040.1	SCALE: 1 : 10000 @ A3
DATE: 31/08/22	DRAWN: AC CHECKED: GR
DRAWING NO.	REVISION
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TYPICAL MEDIUM DENSITY NEARBY THE AREA



TYPICAL MEDIUM DENSITY GREATER MOLLYMOOK



SITE CONTEXT PLAN - 1: 2000

**5.8**  
Average  
star rating  
NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME  
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Assessor Manuel Basiri  
Accreditation No. DMN/12/1462  
Address 8-12 Princes Highway, 1  
Mollymook, NSW, 2539

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ELEVATION (PRINCES HIGHWAY)

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539

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LEC No: 2021/00329677

DA20/1466

Date: 27/1/2023

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DRAWING TITLE		PROJECT #:	18-0040.1
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Land and Environment Court of NSW

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Date: 27/1/2023

SEAVIEW ST

5.8

Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME

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Accreditation No. DMN/12/1462

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AREAS	
SITE AREA	3,021 m <sup>2</sup>
GFA	3,223 m <sup>2</sup>
Ground	456 m <sup>2</sup>
First	1049 m <sup>2</sup>
Second	1037 m <sup>2</sup>
Third	681 m <sup>2</sup>
ENCLOSED CARPARK	1,288 m <sup>2</sup>
LANDSCAPE AREA	1,149 m <sup>2</sup> (38%)
COMMUNAL OPEN SPACE	805 m <sup>2</sup> (27%)
DEEP SOIL ZONE	649 m <sup>2</sup> (21%)

LEGEND	
COS	COMMUNAL OPEN SPACE
POS	PRIVATE OPEN SPACE
SL	SKYLIGHT

TOTAL UNITS	
1 BED	5
2 BED	7
3 + BED	16
TOTAL 28 UNITS	

SOLAR ACCESS	21/28 (75%)
VENTILATION	21/28 (75%)

WINDOW SCHEDULE				
REF.	WIDTH	HEIGHT	OPERATION	QTY
A1	4	3	SLIDING DOOR	17
A2	3	3	SLIDING DOOR	8
A3	4	2	SLIDING DOOR	6
A4	4	1	SLIDING DOOR	1
B	3	3	SLIDING DOOR	10
B1	2	3	SLIDING DOOR	30
B2	2	3	SLIDING DOOR	1
C	4	2	SLIDING WINDOW	6
C1	3	2	SLIDING WINDOW	1
C2	2	2	SLIDING WINDOW	28
C3	2	1	SLIDING WINDOW	16
D	2	1	SLIDING WINDOW	2
D1	2	1	SLIDING WINDOW	5
D2	4	1	FIXED WINDOW	1
E	3	2	FIXED WINDOW	2
F	1	3	FIXED WINDOW	1
F1	1	2	FIXED WINDOW	2
M	4	3	FIXED WINDOW	3

6m HABITABLE ROOM SETBACK (ADG)

DEEP SOIL ZONE (HATCHED)

6 PRINCES HWY

3m NON-HABITABLE ROOM SETBACK (ADG)

6m HABITABLE ROOM SETBACK (ADG)

7.5m FRONT SETBACK (DCP)

WATER METER CUPBOARD

CONSTRUCT NEW FOOTPATH

KERB & GUTTER

PARKING LANE

TRAFFIC LANE

CENTRE LINE

50 SEAVIEW ST

52 SEAVIEW ST

54 SEAVIEW ST

BOUNDARY

DEEP SOIL ZONE (HATCHED)

6m HABITABLE ROOM SETBACK (ADG)

9m TRANSITION ZONE INCREASED SETBACK

10.5m UPPER FLOOR SETBACK

14 PRINCES HWY

3m NON-HABITABLE ROOM SETBACK (ADG)

6m HABITABLE ROOM SETBACK (ADG)

RAMP TO CARPARK TO START 6m FROM BOUNDARY

FIRE BOOSTER ENCLOSURE

SITE ENTRY/EXIT

GARBAGE COLLECTION POINT IN PARKING LANE AT DESIGNATED TIMES. CONTRACTOR TO MOVE BINS IN & OUT OF ENCLOSURE DURING COLLECTION

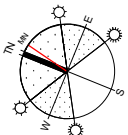
PROPOSED 3 STOREY BUILDING

PRINCES HIGHWAY

# Proposed Residential Development

## For R&G Creations

### At 8-12 Princes Highway, Mollymook NSW 2539



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P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
SITE PLAN	

PROJECT #: 18-0040.1	
SCALE: 1 : 400 @ A3	
DATE: 31/08/22	
DRAWN: LM CHECKED: GR	
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DA03	P5
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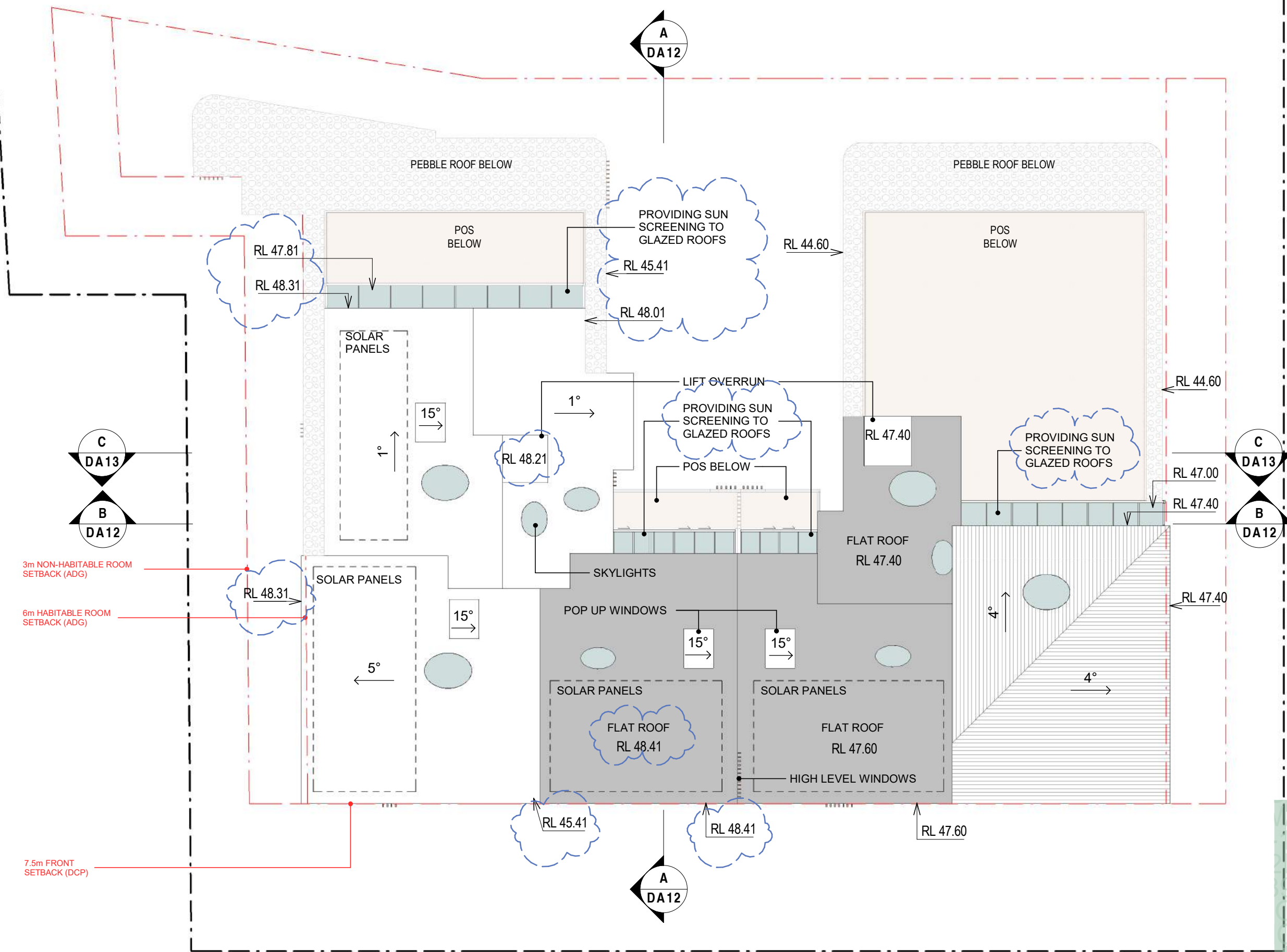


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Land and Environment Court of NSW

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Date: 27/11/2023



LEGEND	
COS	COMMUNAL OPEN SPACE
POS	PRIVATE OPEN SPACE
SL	SKYLIGHT



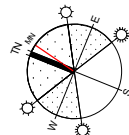
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**Assessor** Manuel Basiri  
**Accreditation No.** DMN/12/1462  
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For R&G Creations  
At 8-12 Princes Highway, Mollymook NSW 2539

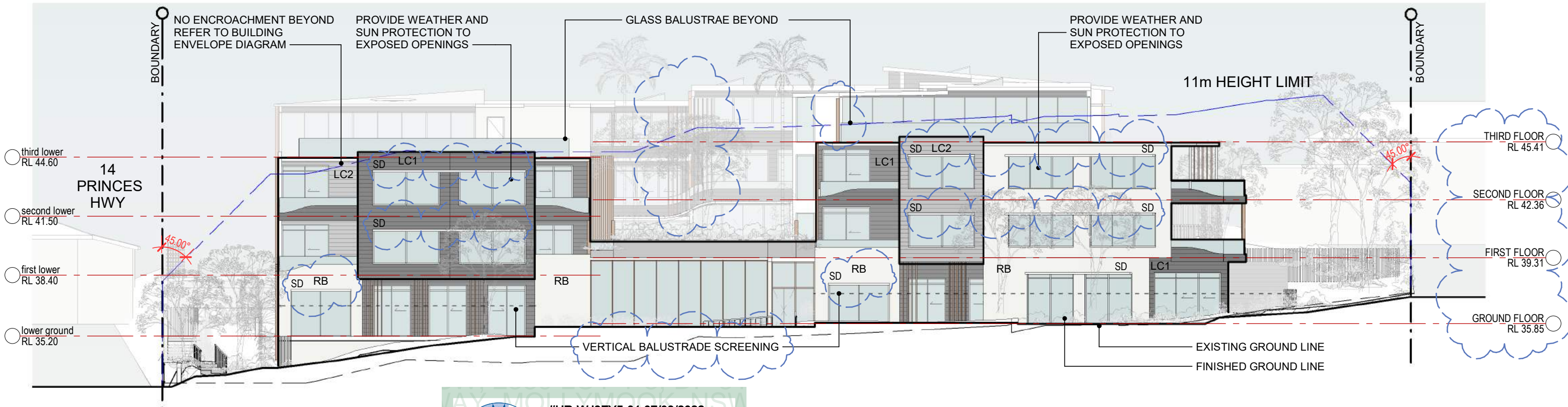
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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	ROOF	18-0040.1	1 : 200 @ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: LM	CHECKED: GR
P4	POP UP WINDOWS ADDED TO UNITS 24 & 25	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA09	P5
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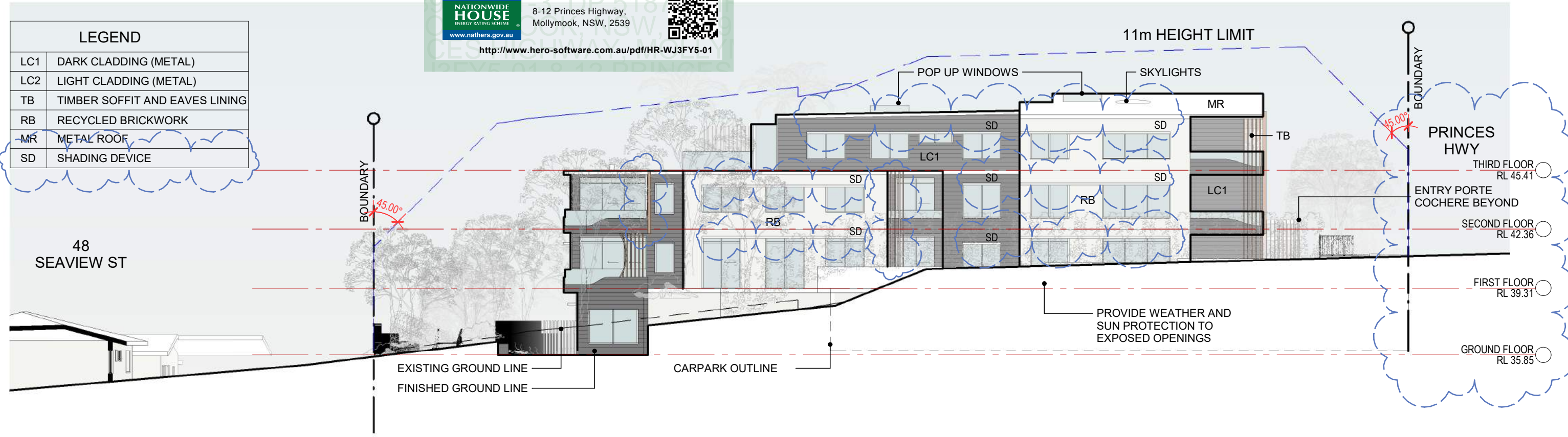
North/East Elevation

**5.8**  
Average star rating  
NATIONWIDE HOUSE ENERGY RATING SCHEME  
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LEGEND	
LC1	DARK CLADDING (METAL)
LC2	LIGHT CLADDING (METAL)
TB	TIMBER SOFFIT AND EAVES LINING
RB	RECYCLED BRICKWORK
MR	METAL ROOF
SD	SHADING DEVICE



North/West Elevation

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For R&G Creations  
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**Land and Environment Court of NSW**  
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**Date: 27/1/2023**

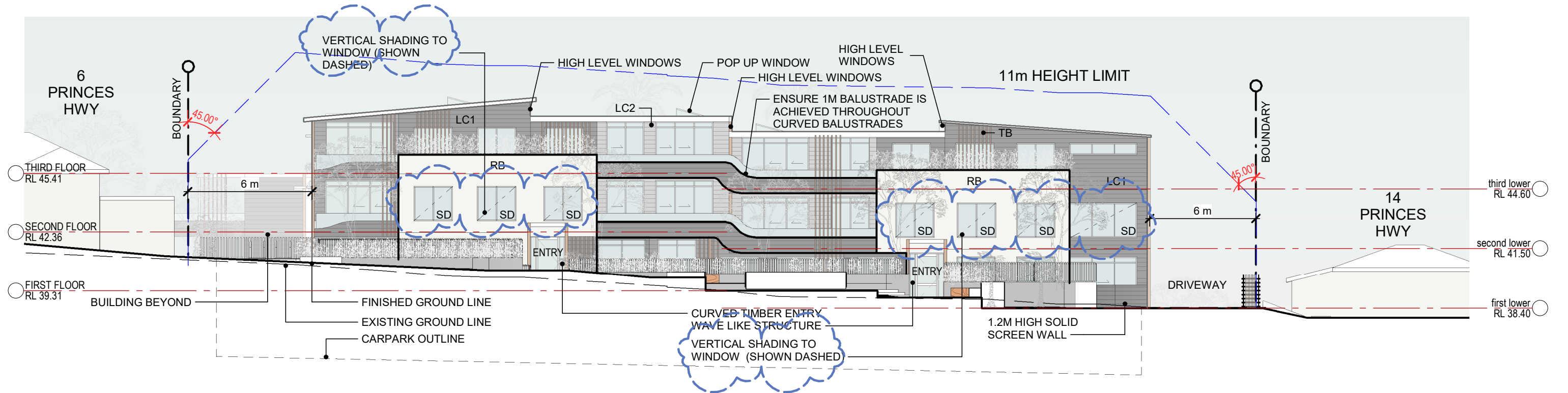


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P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	POP UP WINDOWS ADDED TO UNITS 24 & 25. GROUND LEVELS COORDINATED WITH STORMWATER. UNITS 4 & 14 AMENDED	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
ELEVATIONS 1	

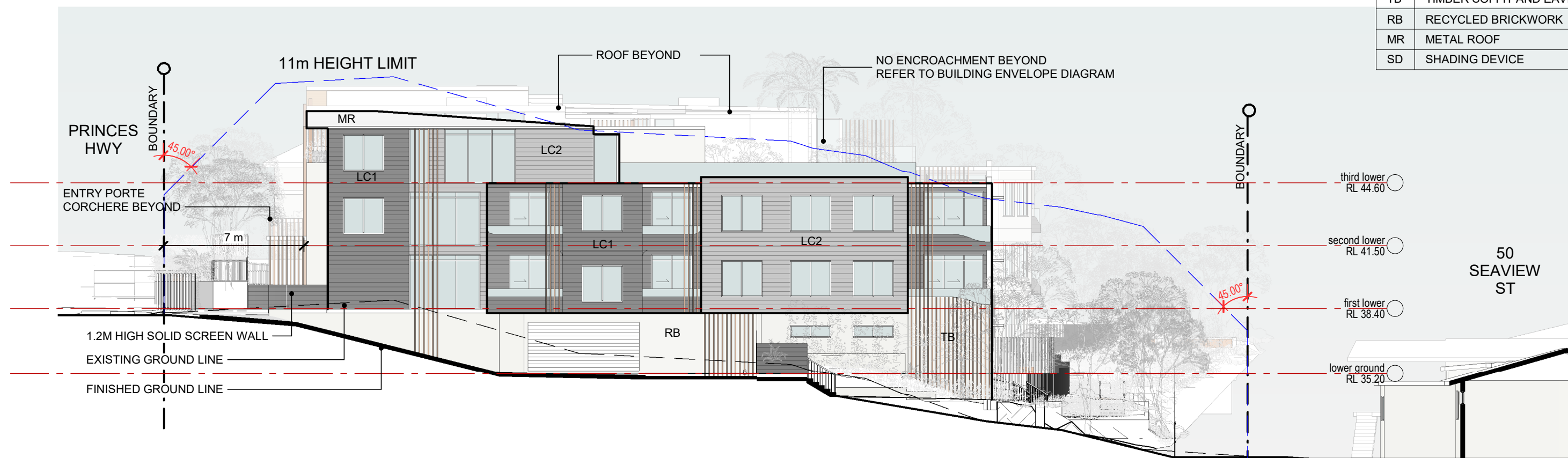
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DATE: 31/08/22	DRAWN: LM CHECKED: GR
DRAWING NO. DA10	REVISION P5
7/09/2022 1:17:58 PM	





South/West Elevation

LEGEND	
LC1	DARK CLADDING (METAL)
LC2	LIGHT CLADDING (METAL)
TB	TIMBER SOFFIT AND EAVES LINING
RB	RECYCLED BRICKWORK
MR	METAL ROOF
SD	SHADING DEVICE



South/East Elevation

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P5	REVISIONS FROM CONCILIATION MEETING	31/08/22
P6	CLARIFY VERTICAL SUN SHADING TO THE WEST	04/10/22

DRAWING TITLE  
ELEVATIONS 2

PROJECT #:	18-0040.1
SCALE:	1 : 200 @ A3
DATE:	04/10/22
DRAWN:	LM
CHECKED:	Checker
DRAWING NO.	DA11
REVISION	P6
5/10/2022 2:43:53 PM	



Architectural section drawing of a building with units 6, 11, 16, 21, 24, and 28. The drawing shows floor levels, ground lines, and structural elements like retaining walls and gates.

**Left Side Labels:**

- THIRD FLOOR RL 45.41
- SECOND FLOOR RL 42.36
- FIRST FLOOR RL 39.31
- GROUND FLOOR RL 35.85

**Right Side Labels:**

- third lower RL 44.60
- second lower RL 41.50
- first lower RL 38.40
- lower ground RL 35.20

**Internal Labels:**

- UNIT 24
- UNIT 16
- UNIT 6
- UNIT 28
- UNIT 21
- UNIT 11
- pos
- carpark

**Structural and Boundary Labels:**

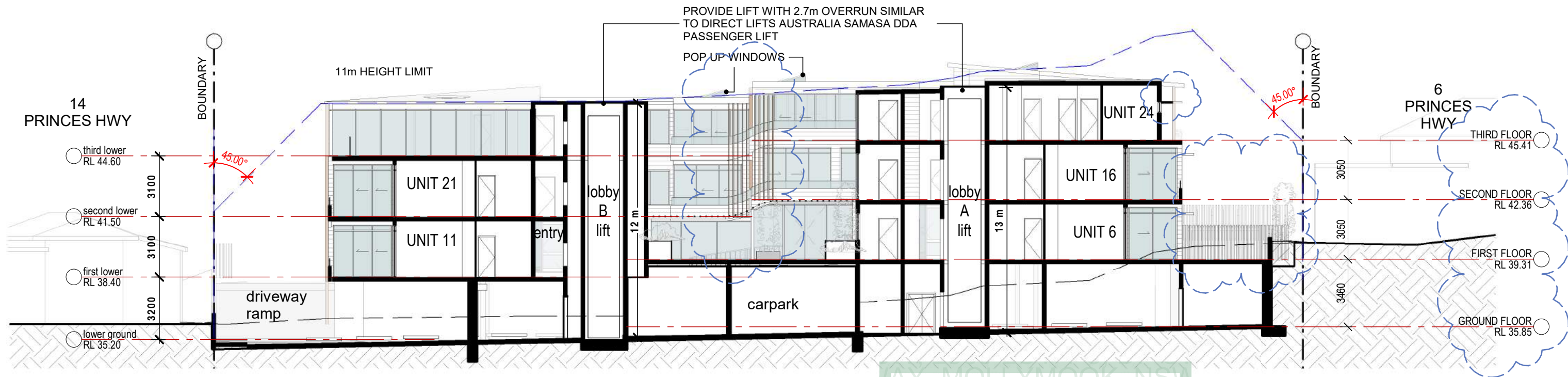
- 11m HEIGHT LIMIT
- BOUNDARY
- DEEP SOIL PLANTING TO BOUNDARY
- EXISTING GROUND LINE
- FINISHED GROUND LINE
- RETAINING WALL
- GATE TO COS2

**Dimensions:**

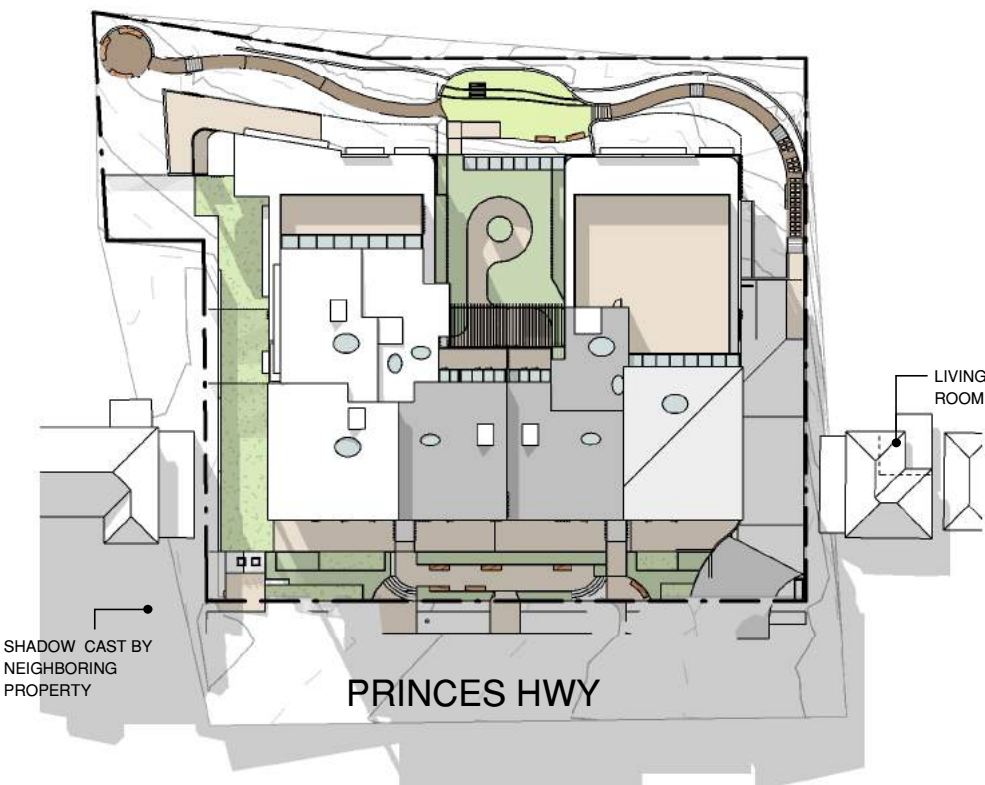
- 3050
- 3050
- 3460
- 3100
- 3100
- 3200

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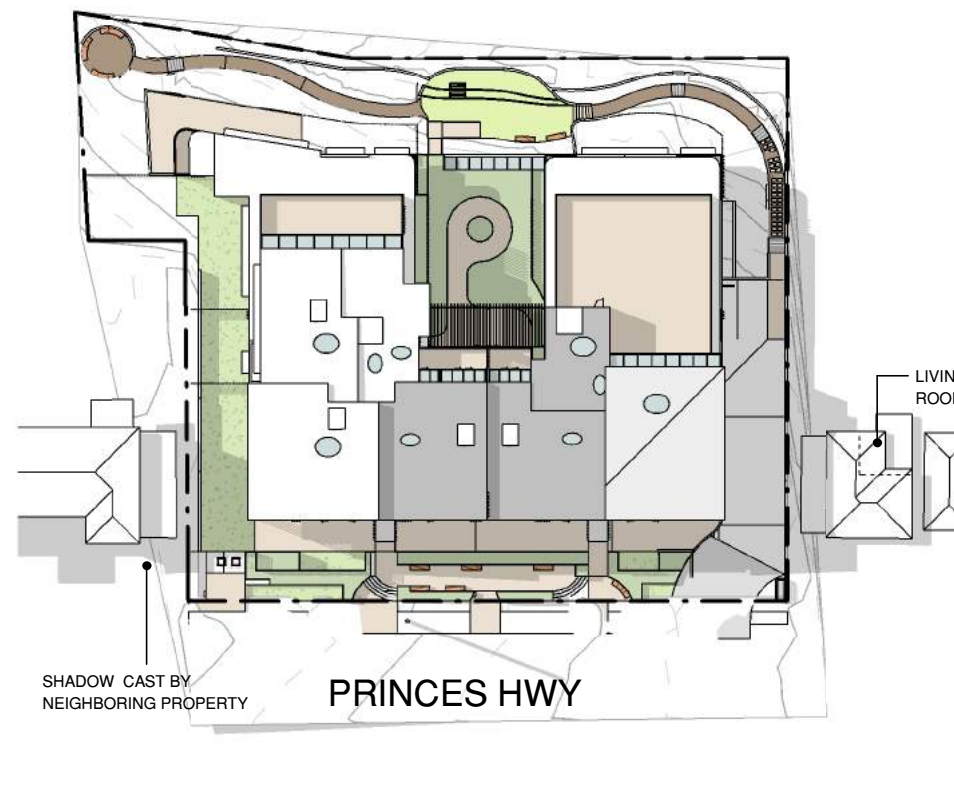




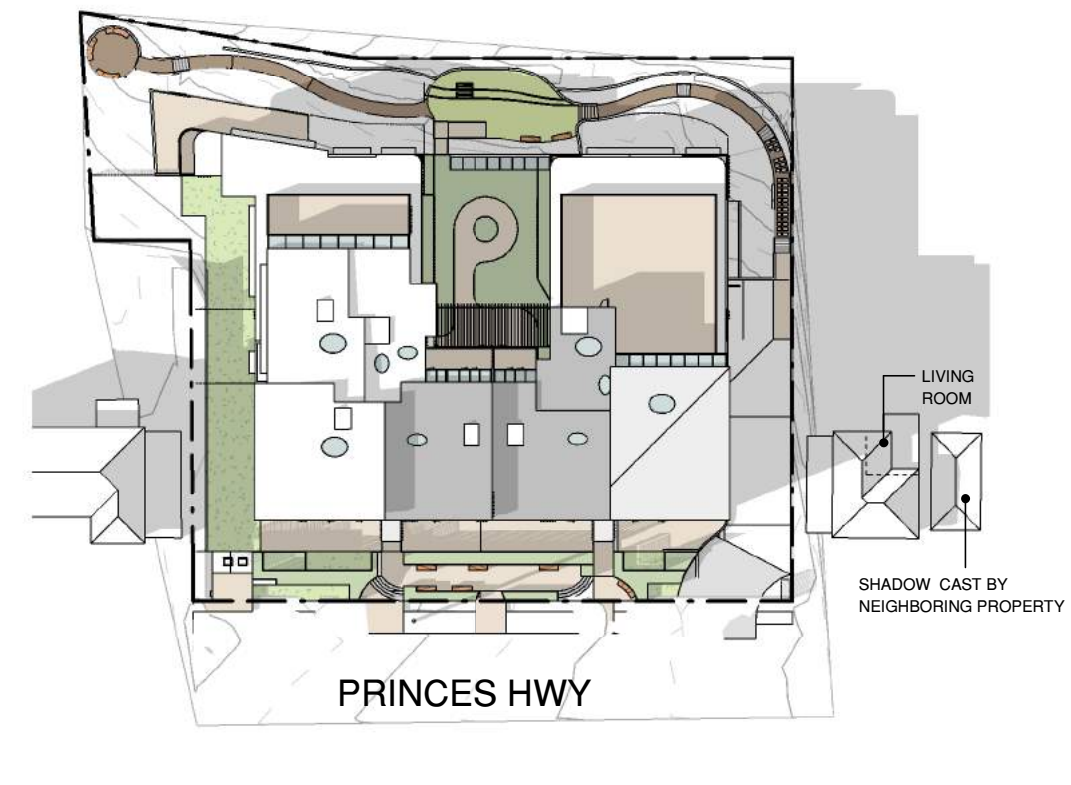
SECTION CC



WINTER 9am (21 JUNE)



WINTER 12pm (21 JUNE)



WINTER 3pm (21 JUNE)

**Proposed Residential Development  
For R&G Creations  
At 8-12 Princes Highway, Mollymook NSW 2539**

**APPROVED**

**Land and Environment Court of NSW**

**LEC No: 2021/00329677 DA20/1466**

**Date: 27/1/2023**

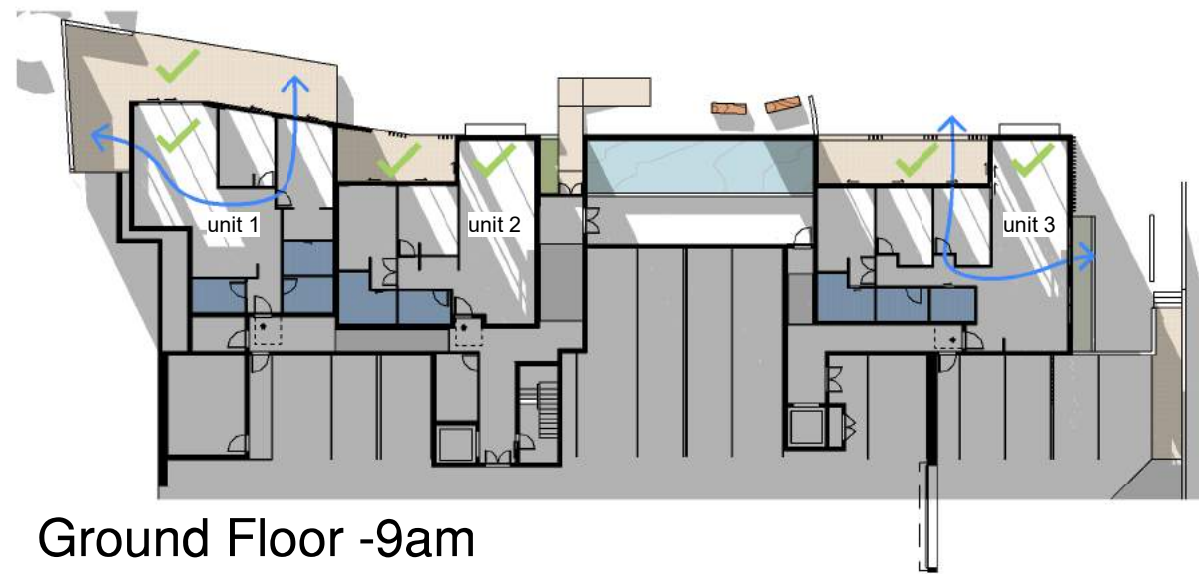


REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	POP UP WINDOWS ADDED TO UNITS 24 & 25. GROUND LEVELS COORDINATED WITH STORMWATER. UNITS 4 & 14 AMENDED	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

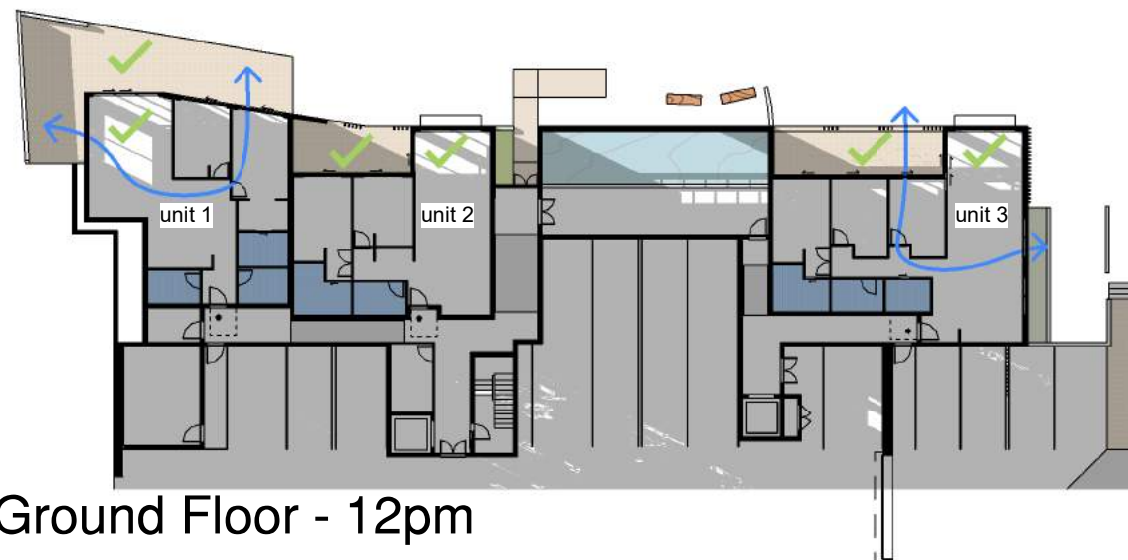
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**SHADOW DIAGRAM**

PROJECT #: 18-0040.1	SCALE: As indicated @ A3
DATE: 31/08/22	DRAWN: LM CHECKED: GR
DRAWING NO. <b>DA13</b>	REVISION <b>P5</b>
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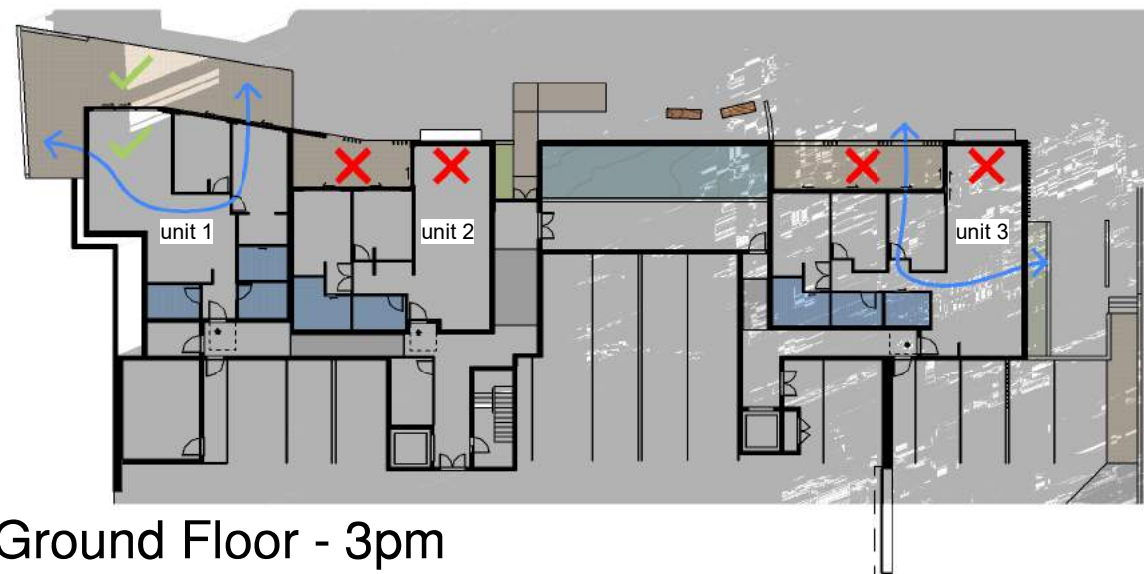




Ground Floor -9am



Ground Floor - 12pm



Ground Floor - 3pm

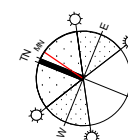
**APPROVED**  
**Land and Environment Court of NSW**  
**LEC No: 2021/00329677      DA20/1466**  
**Date: 27/1/2023**



	SOLAR ACCESS				CROSS-FLOW VENTILATION
	9am	12pm	3pm	COMPLIES	
UNIT 1	✓	✓	✓	✓	↔
UNIT 2	✓	✓	✗	✓	
UNIT 3	✓	✓	✗	✓	↔
UNIT 4	✓	✓	✓	✓	↔
UNIT 5	✓	✓	✗	✓	↔
UNIT 6	✓	✓	✓	✓	
UNIT 7	✓	✓	✓	✓	↔
UNIT 8	✗	✗	✓	✗	
UNIT 9	✗	✗	✓	✗	
UNIT 10	✗	✗	✓	✗	↔
UNIT 11	✗	✗	✗	✗✗	
UNIT 12	✓	✓	✗	✓	↔
UNIT 13	✓	✓	✗	✓	↔
UNIT 14	✓	✓	✓	✓	↔
UNIT 15	✓	✓	✗	✓	↔
UNIT 16	✓	✓	✓	✓	

LEGEND	
✓	UNIT ACHIEVES MIN 1m <sup>2</sup> OF DIRECT SUNLIGHT DURING THIS TIME
✗	UNIT DOES NOT ACHIEVE SOLAR ACCESS DURING THIS TIME
↔	UNIT ACHIEVES CROSS-FLOW VENTILATION

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539

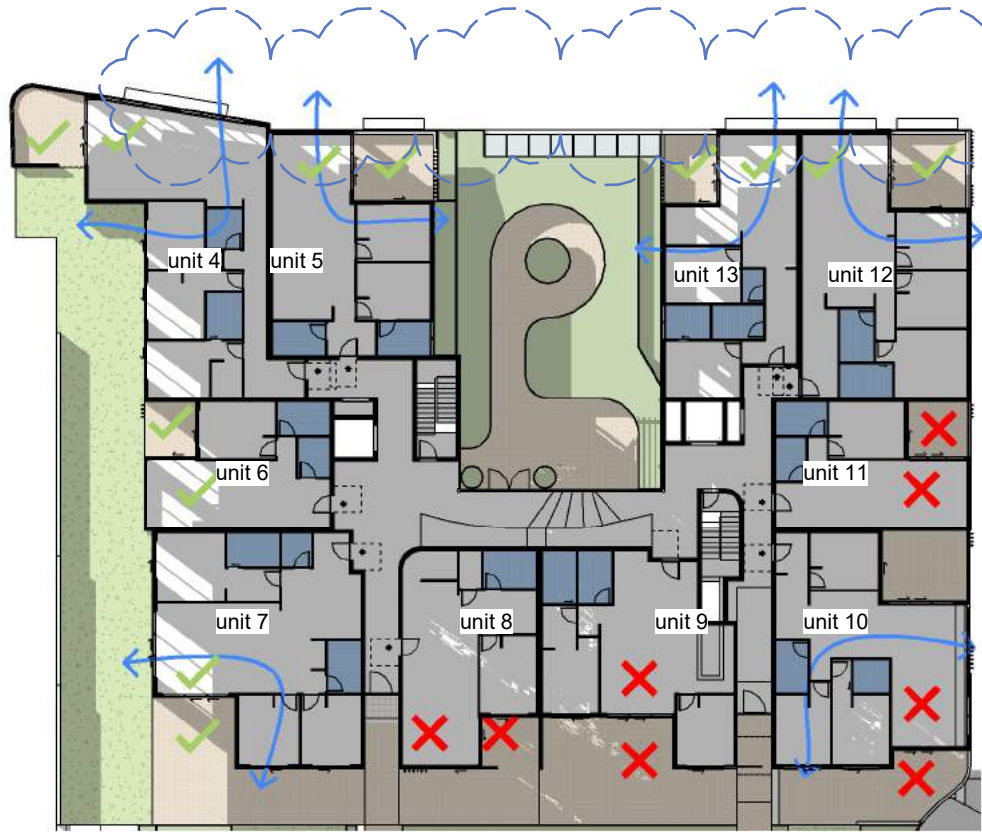


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P1	ISSUED TO REVIEW	31/05/22	WINTER SOLAR ACCESS - VENTILATION DIAGRAM 1	DRAWING NO.	REVISION
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DA14	P5
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22			
P4	GROUND LEVELS COORDINATED WITH STORMWATER	26/08/22			
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22			

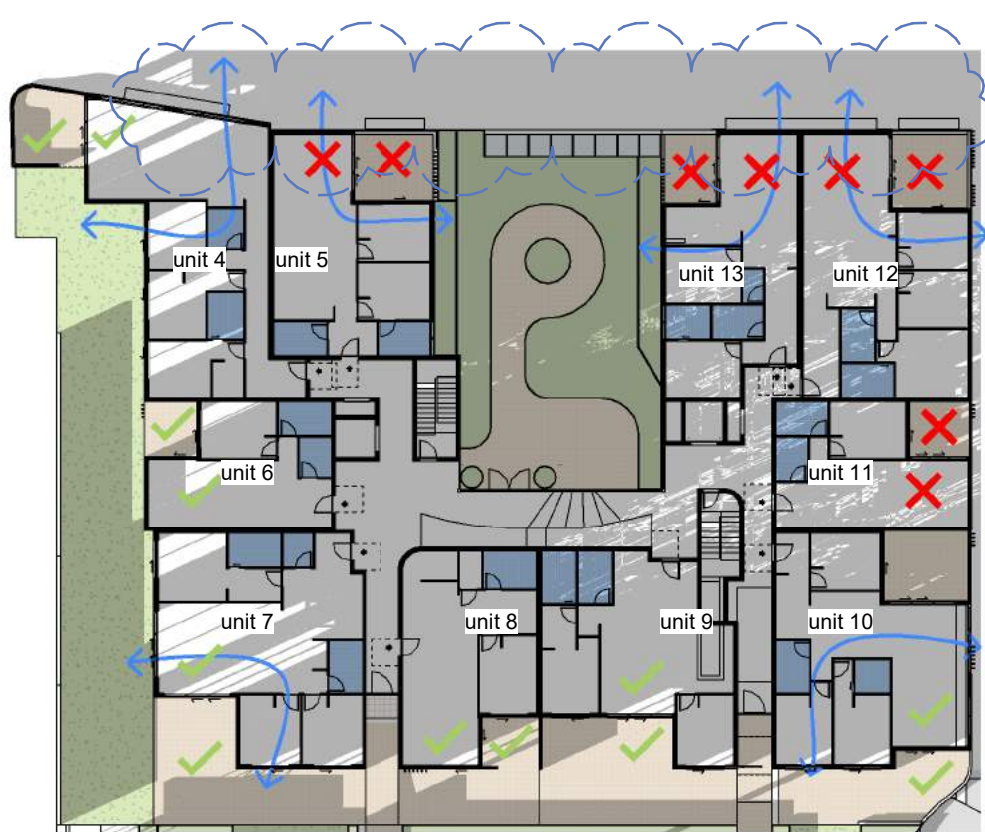




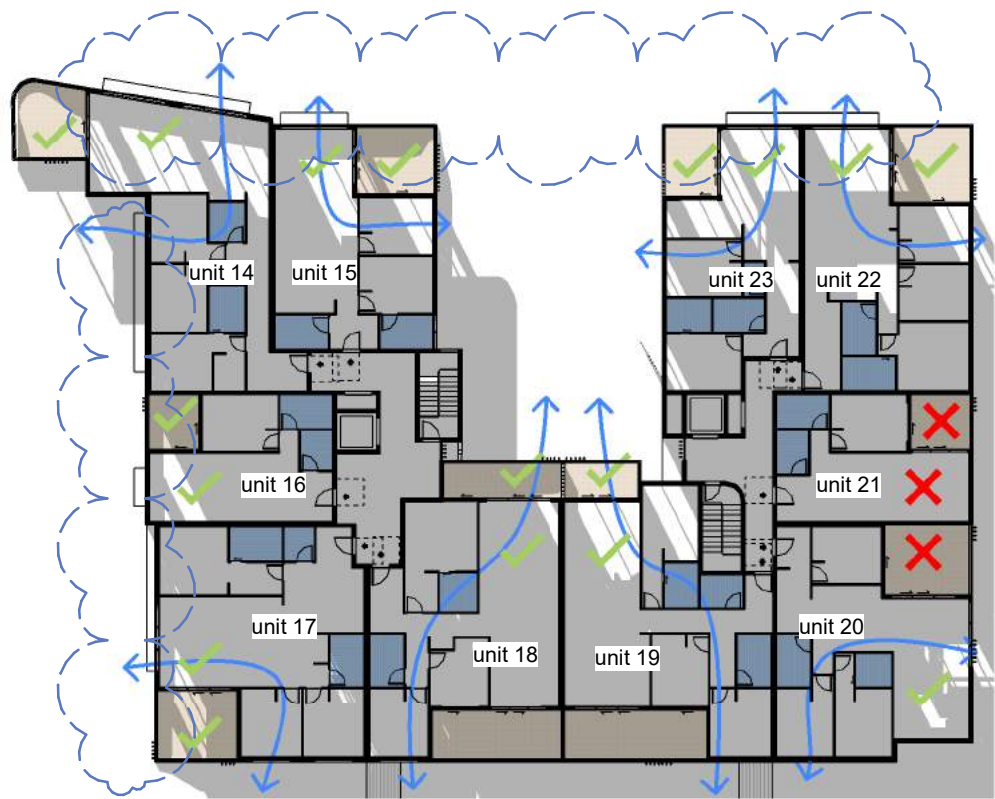
First Floor - 9am



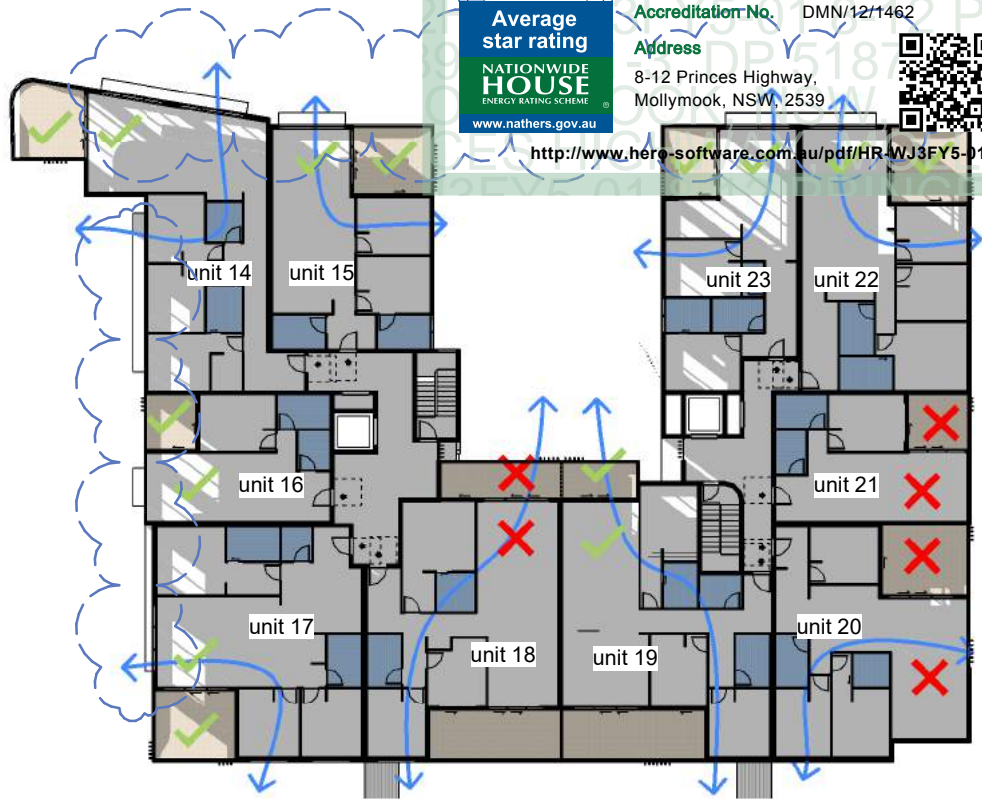
First Floor - 12pm



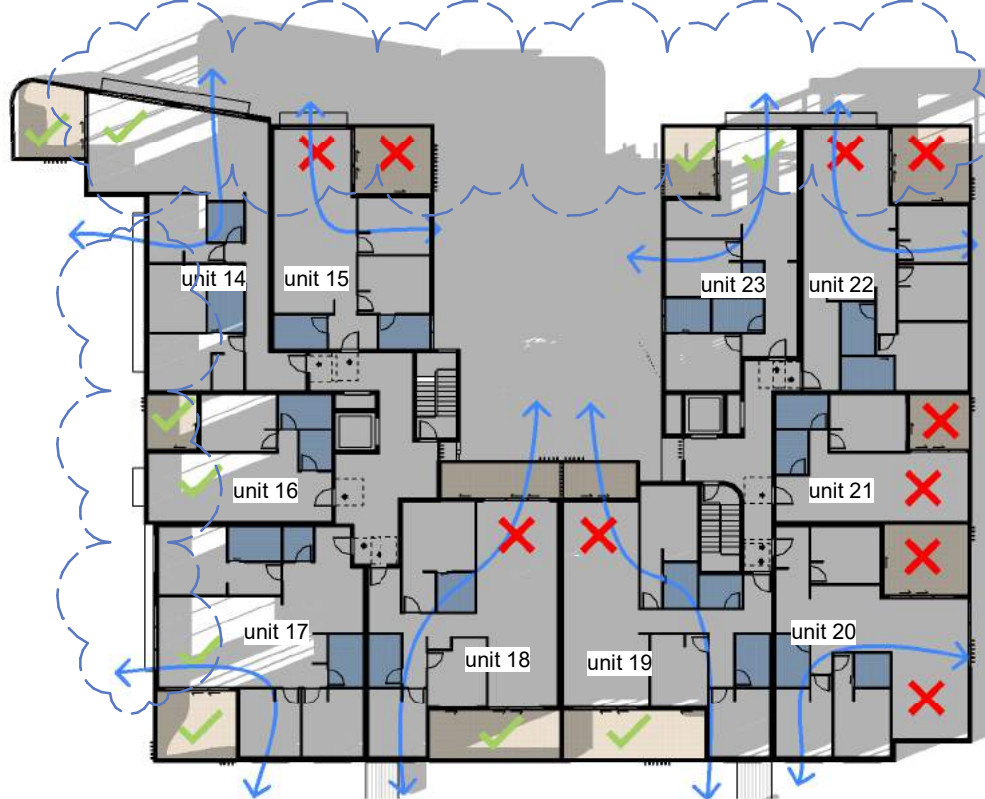
First Floor - 3pm



Second Floor - 9am



Second Floor - 12pm



Second Floor - 3pm

5.8  
Average  
star rating

#HR-WJ3FY5-01 07/09/2022

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 8-12 Princes Highway,  
Mollymook, NSW 2539

<http://www.here-software.com.au/pdf/HR-WJ3FY5-01>

**Proposed Residential Development**  
**For R&G Creations**  
**At 8-12 Princes Highway, Mollymook NSW 2539**

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**APPROVED**  
**Land and Environment Court of NSW**  
**LEC No: 2021/00329677 DA20/1466**  
**Date: 27/11/2023**

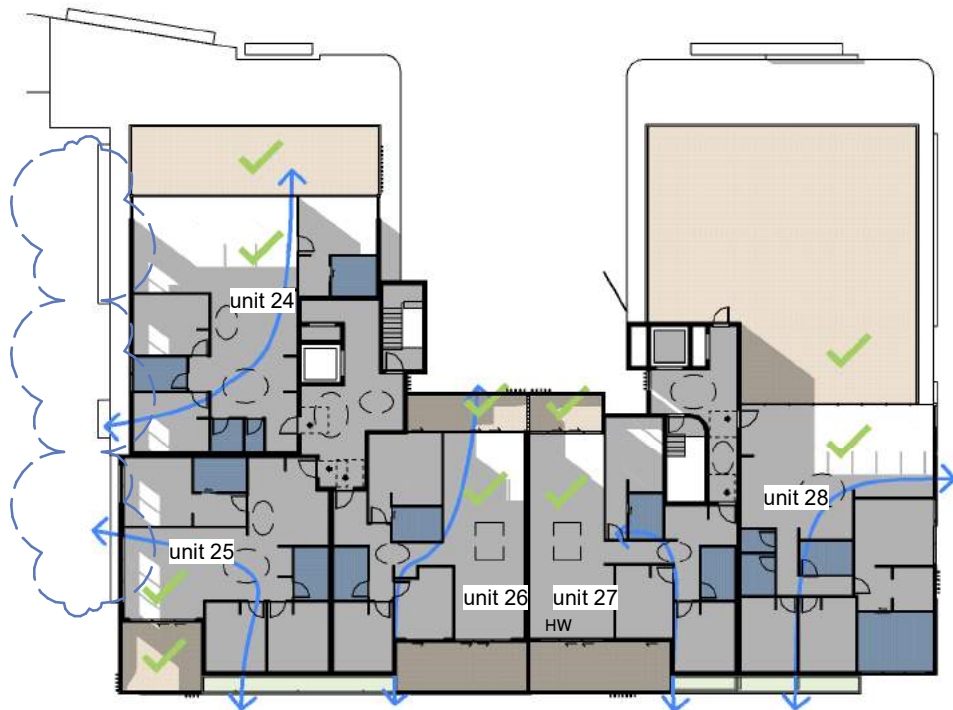


REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS TO UNITS 4, 8, 13 & 14	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

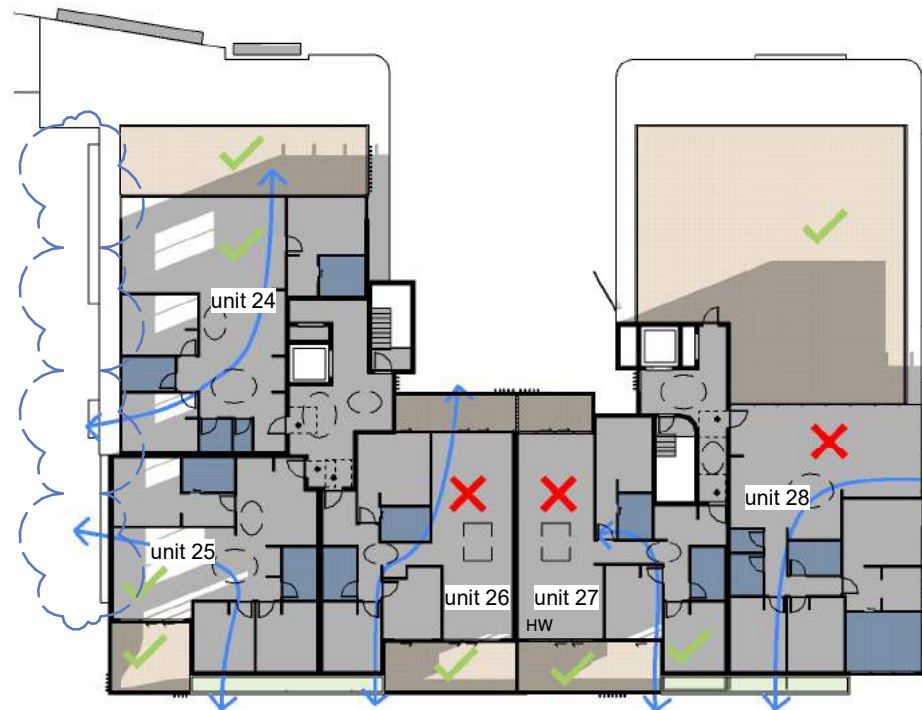
DRAWING TITLE
WINTER SOLAR ACCESS - VENTILATION DIAGRAM 2

PROJECT #: 18-0040.1	SCALE: NTS d @ A3
DATE: 31/08/22	DRAWN: LM CHECKED: GR
DRAWING NO. DA15	REVISION P5
7/09/2022 1:18:20 PM	

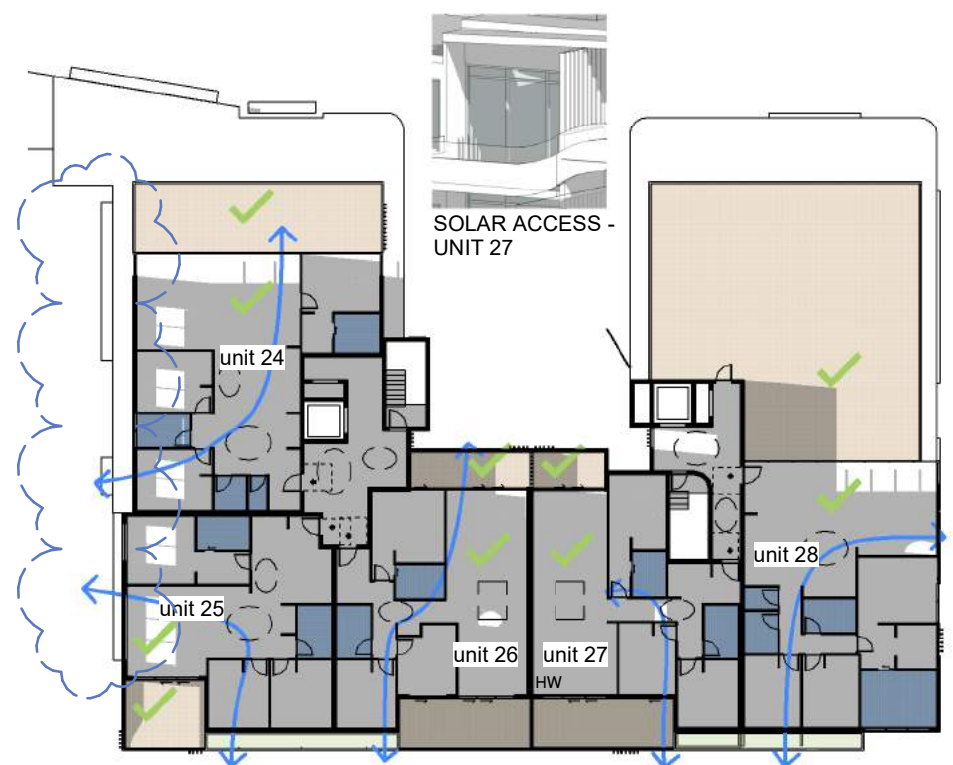




Third Floor - 9am



Third Floor - 3pm



Third Floor - 12pm

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**Land and Environment Court of NSW**  
**LEC No: 2021/00329677      DA20/1466**  
**Date: 27/1/2023**

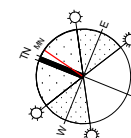


	SOLAR ACCESS				CROSS-FLOW VENTILATION
	9am	12pm	3pm	COMPLIES	
UNIT 17	✓	✓	✓	✓	↔
UNIT 18	✓	✗	✗	✗	↔
UNIT 19	✓	✓	✗	✓	↔
UNIT 20	✗	✗	✗	✗✗	↔
UNIT 21	✗	✗	✗	✗✗	
UNIT 22	✓	✓	✗	✓	↔
UNIT 23	✓	✓	✓	✓	↔
UNIT 24	✓	✓	✓	✓	↔
UNIT 25	✓	✓	✓	✓	↔
UNIT 26	✓	✓	✗	✓	↔
UNIT 27	✓	✓	✗	✓	↔ HW & SKYLIGHT
UNIT 28	✓	✓	✗	✓	↔
TOTAL				21 units (75%)	21 units (75%)

\* UNITS 11, 20 AND 21 RECEIVE NO DIRECT SUNLIGHT IN WINTER (10%)

LEGEND	
✓	UNIT ACHIEVES MIN 1m <sup>2</sup> OF DIRECT SUNLIGHT DURING THIS TIME
✗	UNIT DOES NOT ACHIEVE SOLAR ACCESS DURING THIS TIME
↔	UNIT ACHIEVES CROSS-FLOW VENTILATION

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539



REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	18-0040.1
P1	ISSUED TO REVIEW	31/05/22	WINTER SOLAR ACCESS - VENTILATION DIAGRAM 3	SCALE:	NTS @ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN:	LM CHECKED: GR
P4	POP UP WINDOWS ADDED TO UNITS 24 & 25	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA16	P5
				7/09/2022 1:18:24 PM	





VIEW FROM EAST (OCEAN VIEWS SIDE)

**APPROVED**

**Land and Environment Court of NSW**

**LEC No: 2021/00329677 DA20/1466**

**Date: 27/1/2023**



## MATERIALS SCHEDULE

LC .1	DARK CLADDING - MONUMENT OR SIMILAR (including window frames)	
LC .2	LIGHT CLADDING - EQUITONE NATURA FINISH OR SIMILAR	
RB	PGH BRICK SANSELMO RECLAIMED LIME WASH OR SIMILAR	
MR	COLORBOND - WALLABY OR SIMILAR (including gutters, fascias and downpipes)	
TB	TIMBER BATTENS - SIMILAR TO ASHWOOD	
TS	TIMBER SOFIT AND EAVES LINING - SIMILAR TO ASHWOOD	

VIEW FROM SOUTH (DRIVE WAY)

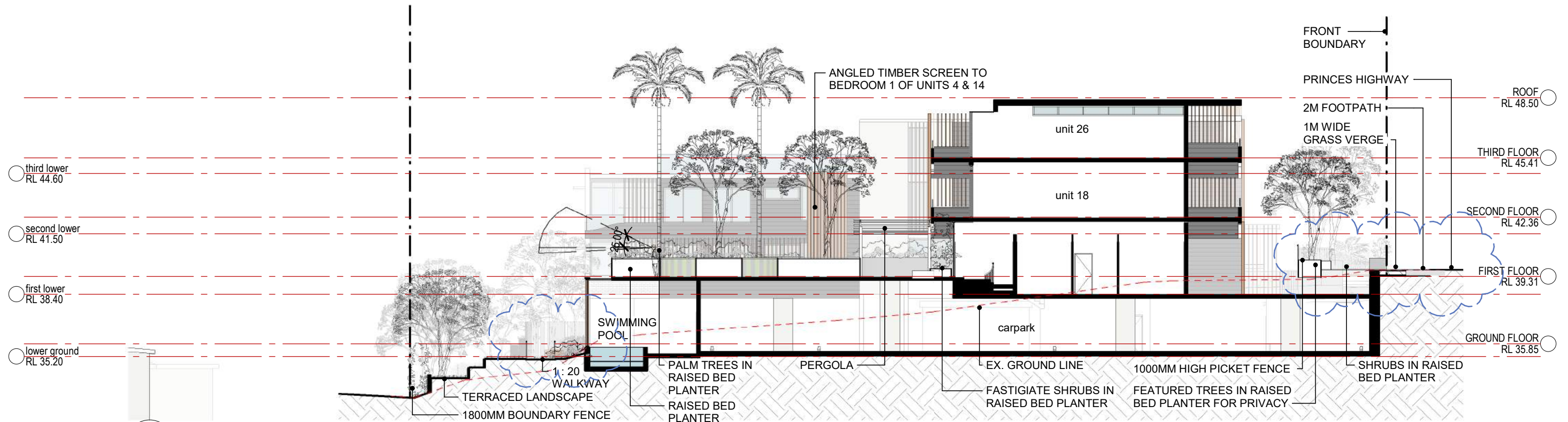


**Proposed Residential Development  
For R&G Creations  
At 8-12 Princes Highway, Mollymook NSW 2539**



REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	3D VIEW 1	18-0040.1	1:100 @ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: LM	CHECKED: GR
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA17	P5
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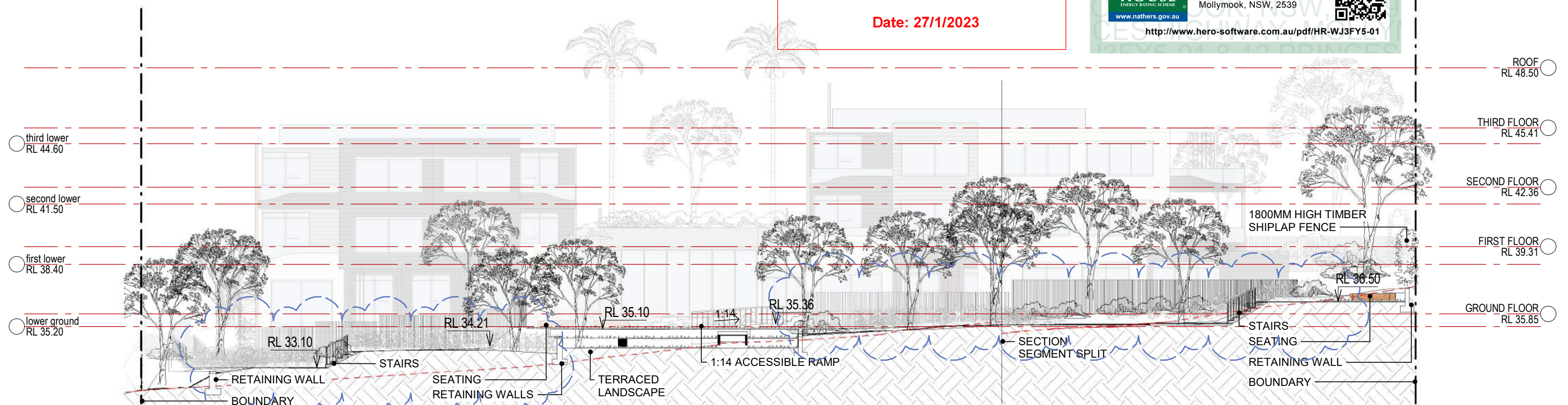


4 LANDSCAPE SECTION 1 - SWIMMING POOL  
DA06 1 : 200

**APPROVED**  
**Land and Environment Court of NSW**  
**LEC No: 2021/00329677 DA20/1466**  
**Date: 27/1/2023**



**#HR-WJ3FY5-01 07/09/2022**  
Assessor Manuel Basiri  
Accreditation No. DMN/12/1462  
Address 8-12 Princes Highway, Mollmook, NSW, 2539  
<http://www.hero-software.com.au/pdf/HR-WJ3FY5-01>



2 LANDSCAPE SECTION 2 - MAIN COS  
DA04 1 : 200

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollmook NSW 2539

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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	PODIUM SCREENING CLARIFIED, RETAINING WALL ADDED, SCREENING TO UNITS 13 & 23 ADDED.	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
LANDSCAPE SECTIONS	

PROJECT #: 18-0040.1	
SCALE: 1 : 200 @ A3	
DATE: 31/08/22	
DRAWN: HW CHECKED: SS	
DRAWING NO.	REVISION
DA18	P5
7/09/2022 1:18:30 PM	



PLANTING SCHEDULE - TREES						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	POT SIZE	QTY	COMMENTS
AS	<i>Acmena smithii</i> Cherry Surprise	Cherry Surprise	3 x 1.5 m	200 mm	28	
BM	<i>Banksia marginata</i>	Silver Banksia	6 x 4 m	300 mm	16	
NF	<i>Hymenosporum flavum</i>	Native Frangipani	8 x 5 m	300 mm	2	
JM	<i>Jacaranda mimosifolia</i> *	Jacaranda	10 x 8 m	300 mm	5	
PA	<i>Plumeria acutifolia</i> *	Frangipani	7 x 6 m	300 mm	3	MATURE TREES

PLANTING SCHEDULE - SHRUBS						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	POT SIZE	QTY	COMMENTS
BS	<i>Banksia spinulosa</i>	Hairpin Banksia	3 x 2 m	200 mm	2	
CJ	<i>Camellia japonica</i> 'Wildfire'	Camellia	2 x 1.5 m	200 mm	12	
CA	<i>Correa alba</i>	White Correa	1.5 x 1 m	200 mm	71	
CP	<i>Crinum pedunculatum</i>	Swamp Lily	2 x 1.5 m	200 mm	5	
DO	<i>Daphne odora</i> *	Daphne	2 x 1.5 m	200 mm	14	
DE	<i>Doryanthes excelsa</i>	Gymea Lily	4 x 1.5 m	200 mm	3	
MO	<i>Monstera deliciosa</i> *	Swiss Cheese Plant	3 x 3 m	200 mm	15	
RF	<i>Rhododendron</i> 'Fragrantissimum'	Fragrantissimum Rhododendron	1.5 x 1.5 m	200 mm	6	
SR	<i>Strelitzia reginae</i> *	Bird of Paradise	1.2 x 1.2 m	200 mm	12	
WF	<i>Westringia fruticosa</i>	Coastal Rosemary	1.2 x 4 m	200 mm	1	

PLANTING SCHEDULE - PALMS						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	POT SIZE	QTY	COMMENTS
AC	<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	20 x 6 m	45 L	4	
CS	<i>Cordyline stricta</i>	Narrow Leafed Palm Lily	4 x 2 m	200 mm	29	
CR	<i>Cycas revoluta</i> *	Sago Palm	3 x 3 m	200 mm	3	

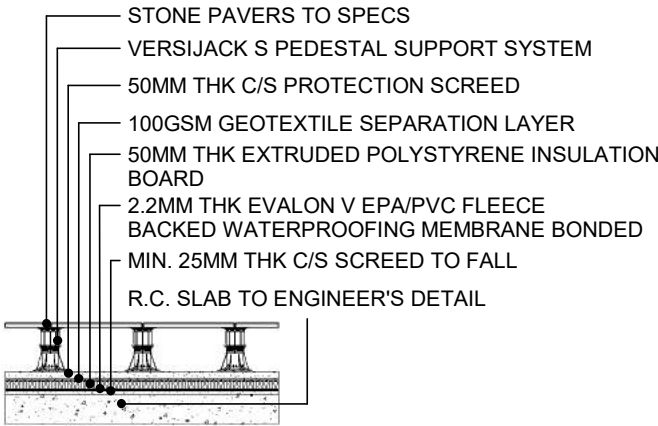
PLANTING SCHEDULE - CLIMBERS						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	POT SIZE	QTY	COMMENTS
TJ	<i>Trachelospermum jasminoides</i> *	Star Jasmine	7 x 2.5 m	200 mm	26	

PLANTING SCHEDULE - FERNS						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	POT SIZE	QTY	COMMENTS
BC	<i>Blechnum cartilagineum</i>	Gristle Fern	1.5 x 1.5 m	200 mm	9	
CC	<i>Cyathea cooperi</i>	Rough Tree Fern	12 x 1.5 m	200 mm	2	
DS	<i>Davallia solida</i> 'Pyxidata'	Hare's Foot Fern	0.5 x 1 m	200 mm	3	
DP	<i>Doodia aspera</i>	Rasp Fern	0.4 x 0.6 m	200 mm	5	

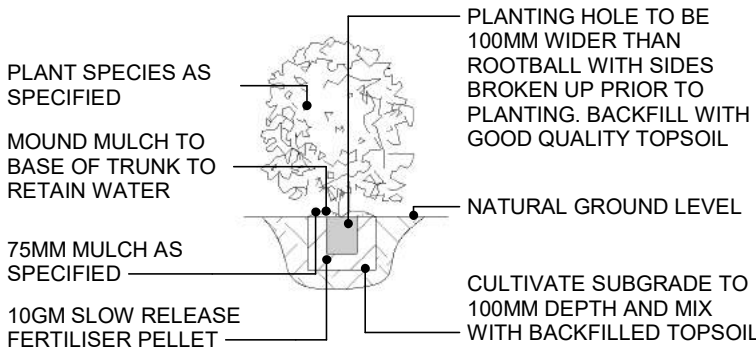
PLANTING SCHEDULE - GRASSES						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	POT SIZE	QTY	COMMENTS
AF	<i>Anigozanthos flavidus</i>	Tall Kangaroo Paw	2.5 x 1.5 m	200 mm	83	
DC	<i>Dianella caerulea</i>	Blue Flax Lily	0.5 x 0.4 m	200 mm	18	
LT	<i>Lomandra 'Tanika'</i>	Tanika	0.6 x 0.5 m	200 mm	77	
PT	<i>Phormium tenax</i> 'Purpurea'	New Zealand Flax	1.5 x 1.5 m	200 mm	64	

PLANTING SCHEDULE - GROUND-COVERS						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	MATURE H X W	Area	QTY	SPACING
AB	<i>Acacia baileyana</i> 'Prostrate'	Cootamundra Wattle	0.5 x 2 m	21 m <sup>2</sup>	6	0.25 per m2
CG	<i>Carpobrotus glaucescens</i>	Pigface	0.3 x 1 m	88 m <sup>2</sup>	88	1.00 per m2
CGC	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	0.15 x 1 m	5 m <sup>2</sup>	5	1.00 per m2
DA	<i>Dichondra argentea</i> 'Silver Falls'	Silver Falls	0.3 x 1 m	26 m <sup>2</sup>	25	1.00 per m2
GG	<i>Grevillea gaudichaudii</i>	Prostrate Grevillea	0.25 x 2 m	15 m <sup>2</sup>	5	0.25 per m2
KR	<i>Kennedia rubicunda</i>	Dusky Coral Pea	0.2 x 1.5 m	35 m <sup>2</sup>	18	0.50 per m2
TP	<i>Tradescantia pallida</i> 'Purpurea'	Purple Heart	0.4 x 0.5 m	13 m <sup>2</sup>	53	4.00 per m2

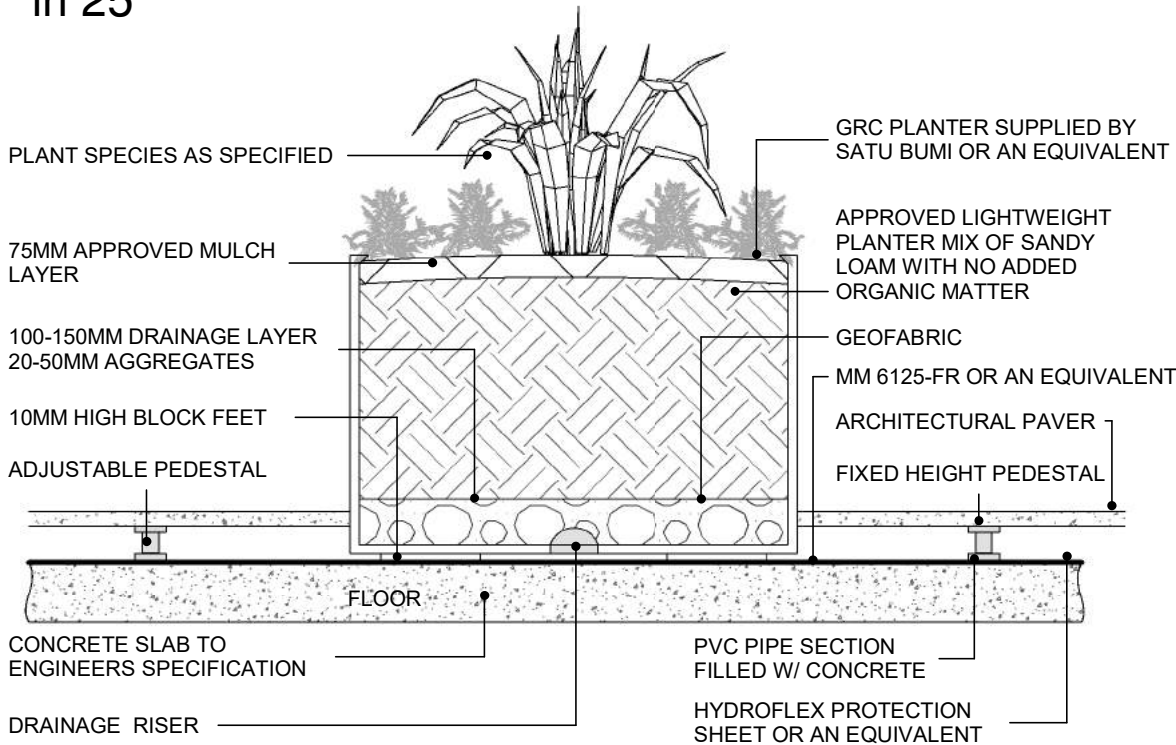
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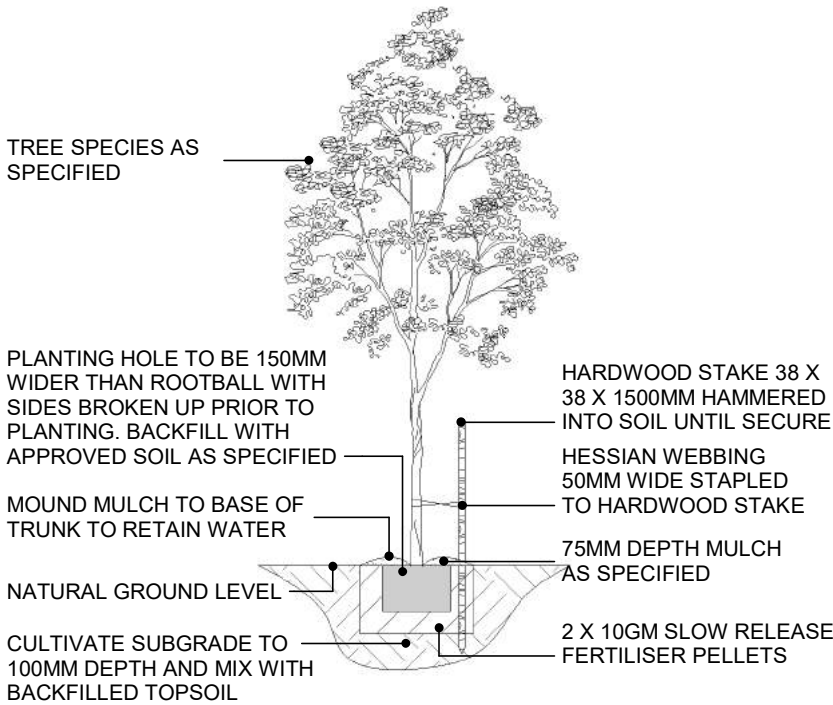
typical raised podium paving  
detail 1 in 50



typical shrub planting detail 1  
in 25



typical raised planter on slab detail 1 in 25



typical tree planting detail 1 in 25

APPROVED

Land and Environment Court of NSW

LEC No: 2021/00329677 DA20/1466

Date: 27/1/2023

KEY PRINCIPLES:

- WATER PROOFING TO UNIT WALL WITH 10 YEAR WARRANTY.
- AIR GAP (MIN 30MM) FROM UNIT WALL TO PLANTER WALL.
- DRAINS FOR THIS GAP
- FLASH TOP OR GAP
- WATER PROOFING TO INTERNAL PLANTER BED WITH 10 YEAR WARRANTY.



#HR-WJ3FY5-01 07/09/2022

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address

8-12 Princes Highway,  
Mollymook, NSW, 2539



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# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539

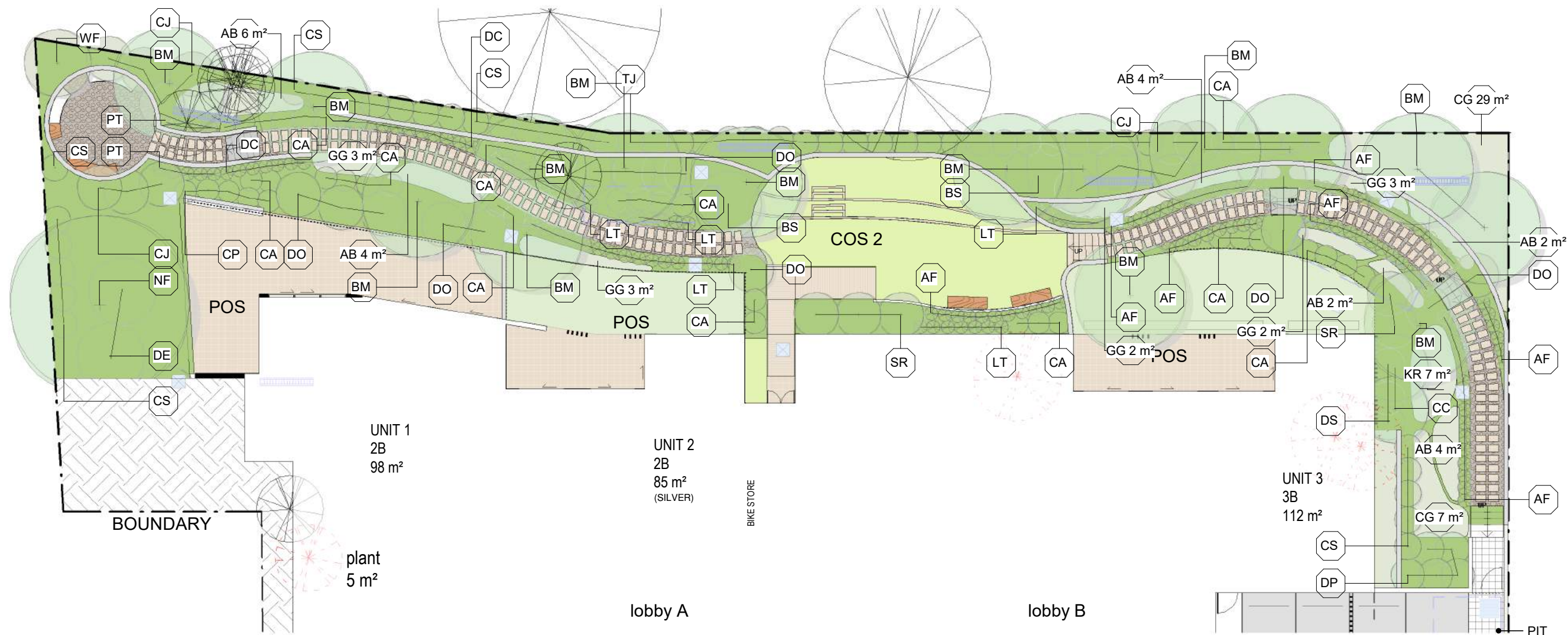
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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	18-0040.1
P1	ISSUED TO REVIEW	31/05/22	PLANTING SCHEDULE & DETAILS	SCALE:	As indicated @ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: HW	CHECKED: SS
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA19	P5
				7/09/2022 1:18:36 PM	





**APPROVED**

**Land and Environment Court of NSW**

**LEC No: 2021/00329677      DA20/1466**

**Date: 27/1/2023**



**5.8**  
Average  
star rating

NATIONWIDE  
**HOUSE**  
ENERGY RATING SCHEME

[www.nathers.gov.au](http://www.nathers.gov.au)

**#HR-WJ3FY5-01 07/09/2022**

**Assessor** Manuel Basiri

**Accreditation No.** DMN/12/1462

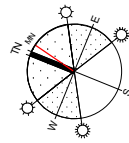
**Address**  
8-12 Princes Highway,  
Mollymook, NSW, 2539



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# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539

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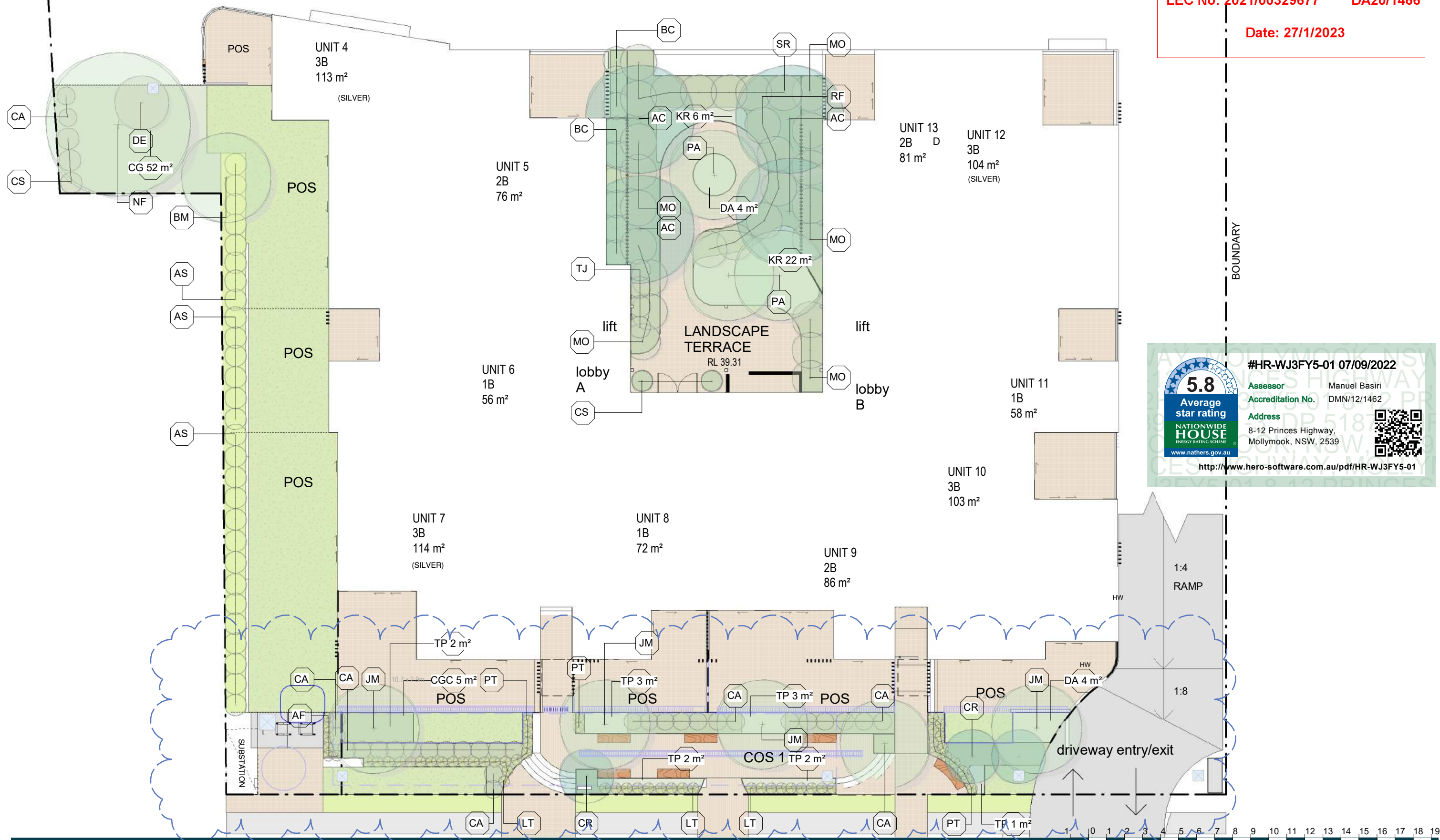
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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
<b>PLANTING PLAN - LOWER GROUND FLOOR</b>	
PROJECT #:	18-0040.1
SCALE:	1 : 200 @ A3
DATE:	31/08/22
DRAWN: HW	CHECKED: SS
DRAWING NO.	REVISION
<b>DA20</b>	<b>P5</b>
7/09/2022 1:18:39 PM	

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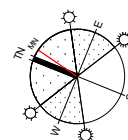




**5.8**  
Average star rating  
NATIONWIDE HOUSE ENERGY RATING SCHEME  
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Assessor Manuel Basiri  
Accreditation No. DMN/12/1462  
Address 8-12 Princes Highway, Mollmook, NSW, 2539  
<http://www.hero-software.com.au/pdf/HR-WJ3FY5-01>

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollmook NSW 2539



REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	PODIUM SCREENING CLARIFIED, RETAINING WALL ADDED	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE
PLANTING PLAN - FIRST FLOOR

PROJECT #: 18-0040.1	SCALE: 1 : 200 @ A3
DATE: 31/08/22	DRAWN: HW CHECKED: SS
DRAWING NO. DA21	REVISION P5
7/09/2022 1:18:42 PM	



5.8

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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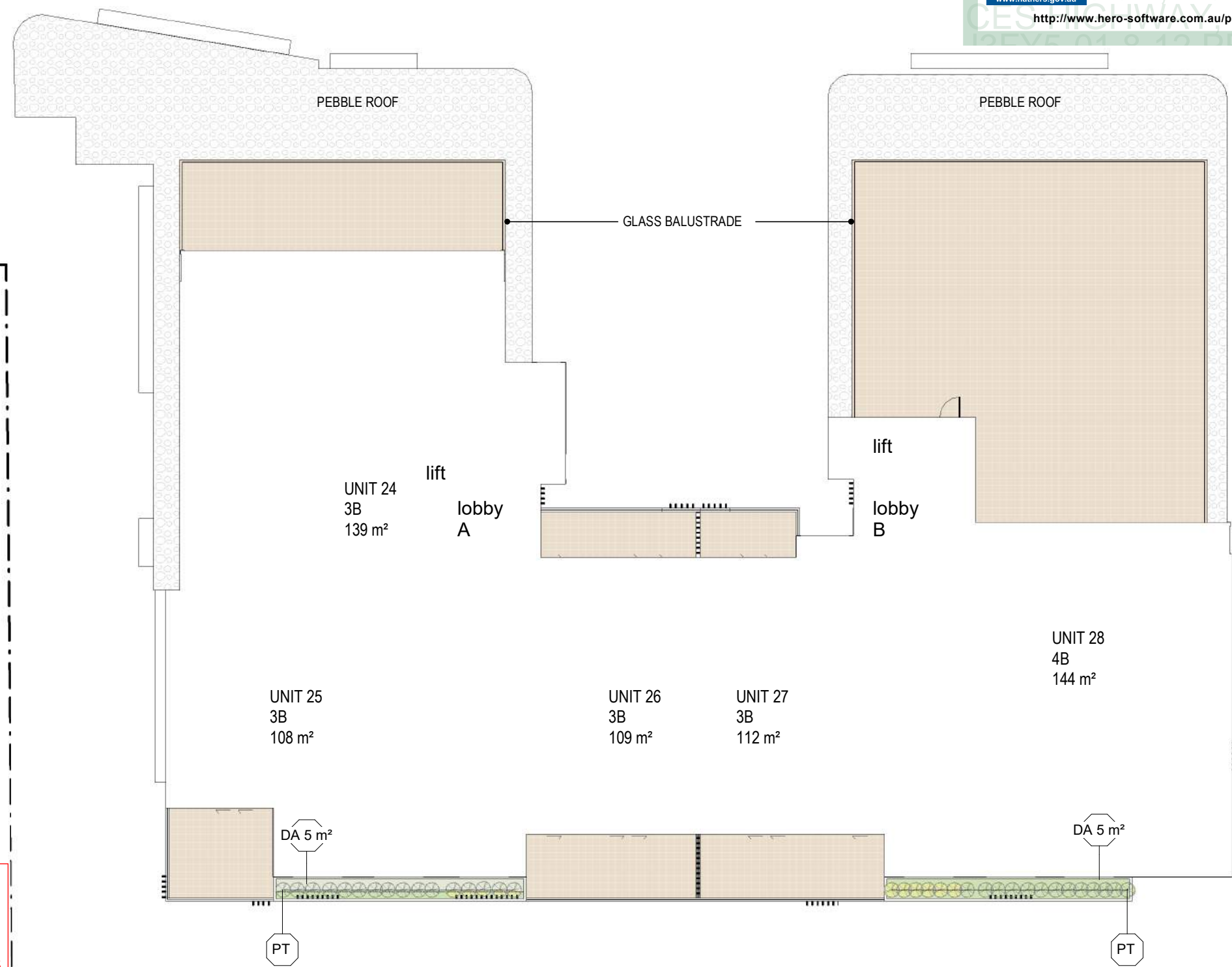
Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 8-12 Princes Highway, Mollymook, NSW, 2539



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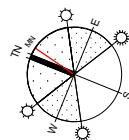
**Land and Environment Court of NSW**

**LEC No: 2021/00329677      DA20/1466**

**Date: 27/1/2023**

# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539

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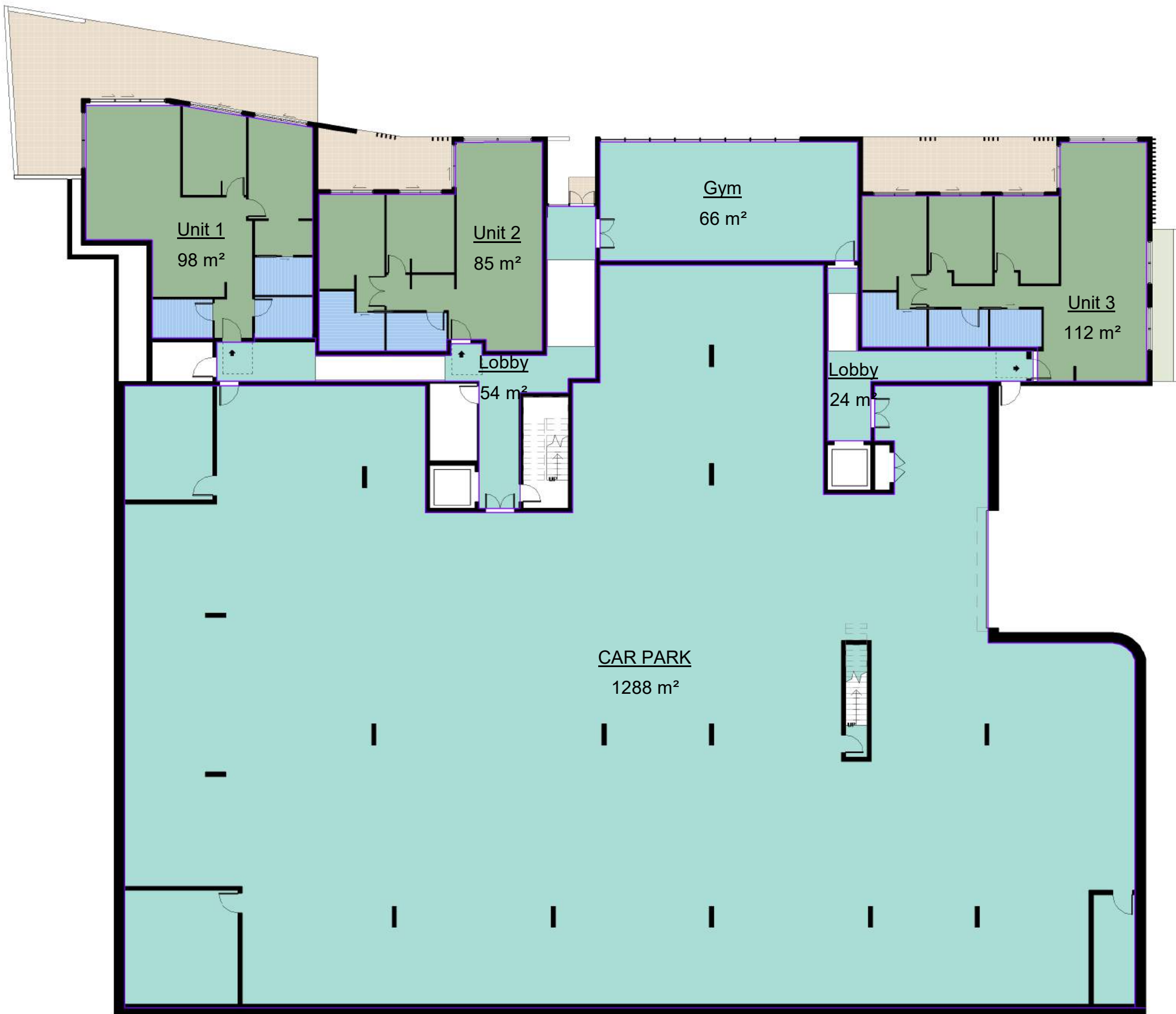
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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
PLANTING PLAN - THIRD FLOOR	

PROJECT #:	18-0040.1
SCALE:	1 : 200 @ A3
DATE:	31/08/22
DRAWN:	HW
CHECKED:	SS
DRAWING NO.	DA22
REVISION	P5
7/09/2022 1:18:44 PM	





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**Land and Environment Court of NSW**

**LEC No: 2021/00329677      DA20/1466**

**Date: 27/1/2023**



**#HR-WJ3FY5-01 07/09/2022**

**Assessor** Manuel Basiri

**Accreditation No.** DMN/12/1462

**Address** 8-12 Princes Highway, Molymook, NSW, 2539

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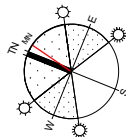


Building Common Area

Floor Area

Proposed Residential Development  
For R&G Creations  
At 8-12 Princes Highway, Molymook NSW 2539

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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
AREA PLAN - GROUND FLOOR	

PROJECT #: 18-0040.1	REVISION
SCALE: 1 : 200 @ A3	
DATE: 31/08/22	
DRAWN: LM/AC	CHECKED: GR
DRAWING NO. DA23	P5
7/09/2022 1:18:46 PM	



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Land and Environment Court of NSW

LEC No: 2021/00329677 DA20/1466

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**5.8**  
Average  
star rating  
NATIONWIDE  
HOUSE  
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Assessor Manuel Basiri

Accreditation No. DMN/12/1462

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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE
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PROJECT #: 18-0040.1	SCALE: @ A3
DATE: 31/08/22	DRAWN: AC CHECKED: GR
DRAWING NO. DA27	REVISION P5
7/09/2022 1:18:52 PM	







**5.8**  
Average  
star rating

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Assessor Manuel Basiri

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Proposed Residential Development

For R&G Creations

At 8-12 Princes Highway, Mollymook NSW 2539

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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE
WINTER SOLAR ACCESS - 10AM (FROM SUN ANGLE VIEWS)

PROJECT #: 18-0040.1	SCALE: @ A3
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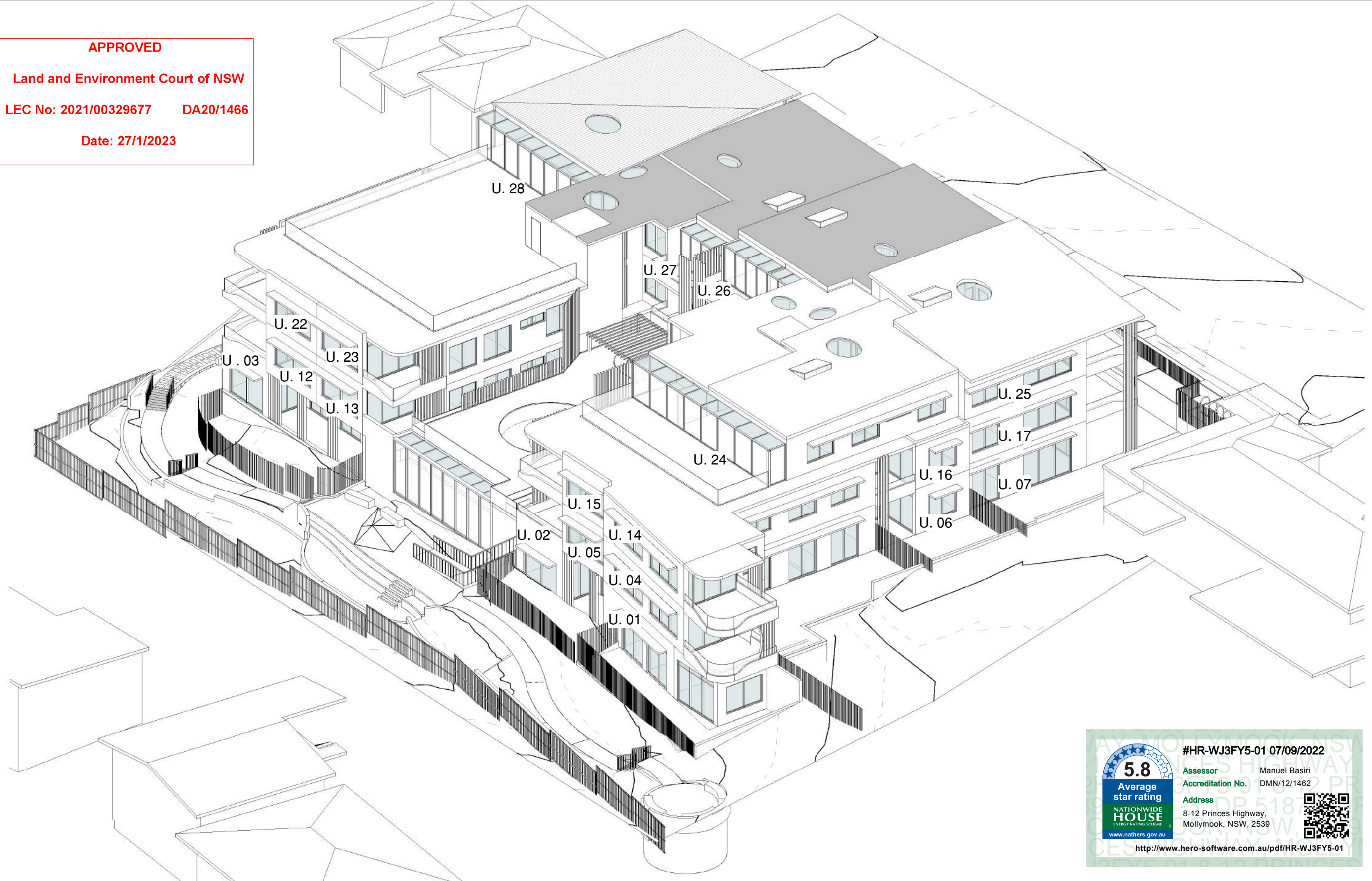


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REV.	DESCRIPTION	DATE
P1	ISSUED TO REVIEW	31/05/22
P2	ALTERNATE DESIGN SUBMISSION	11/07/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P4	REVISIONS	26/08/22
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
WINTER SOLAR ACCESS - 11AM (FROM SUN ANGLE VIEWS)	

PROJECT #: 18-0040.1	
SCALE: @ A3	
DATE: 31/08/22	
DRAWN: AC CHECKED: GR	
DRAWING NO.	REVISION
DA29	P5
7/09/2022 1:18:58 PM	



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5.8

Average star rating

NATIONWIDE HOUSE

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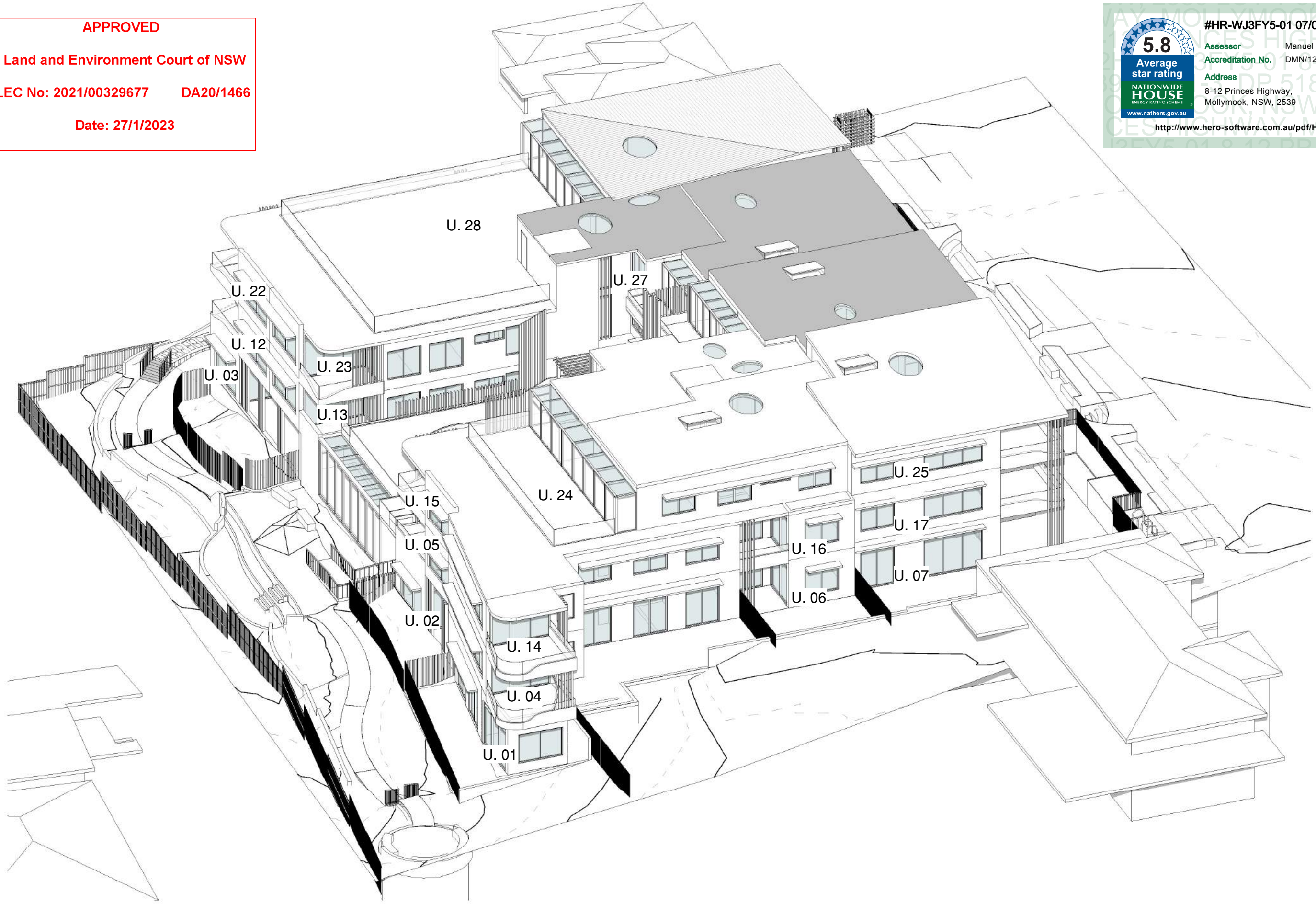
Assessor Manuel Basiri

Accreditation No. DMN/12/1462

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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	WINTER SOLAR ACCESS - 12PM (FROM SUN ANGLE VIEWS)	18-0040.1	@ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: AC	CHECKED: GR
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA30	P5
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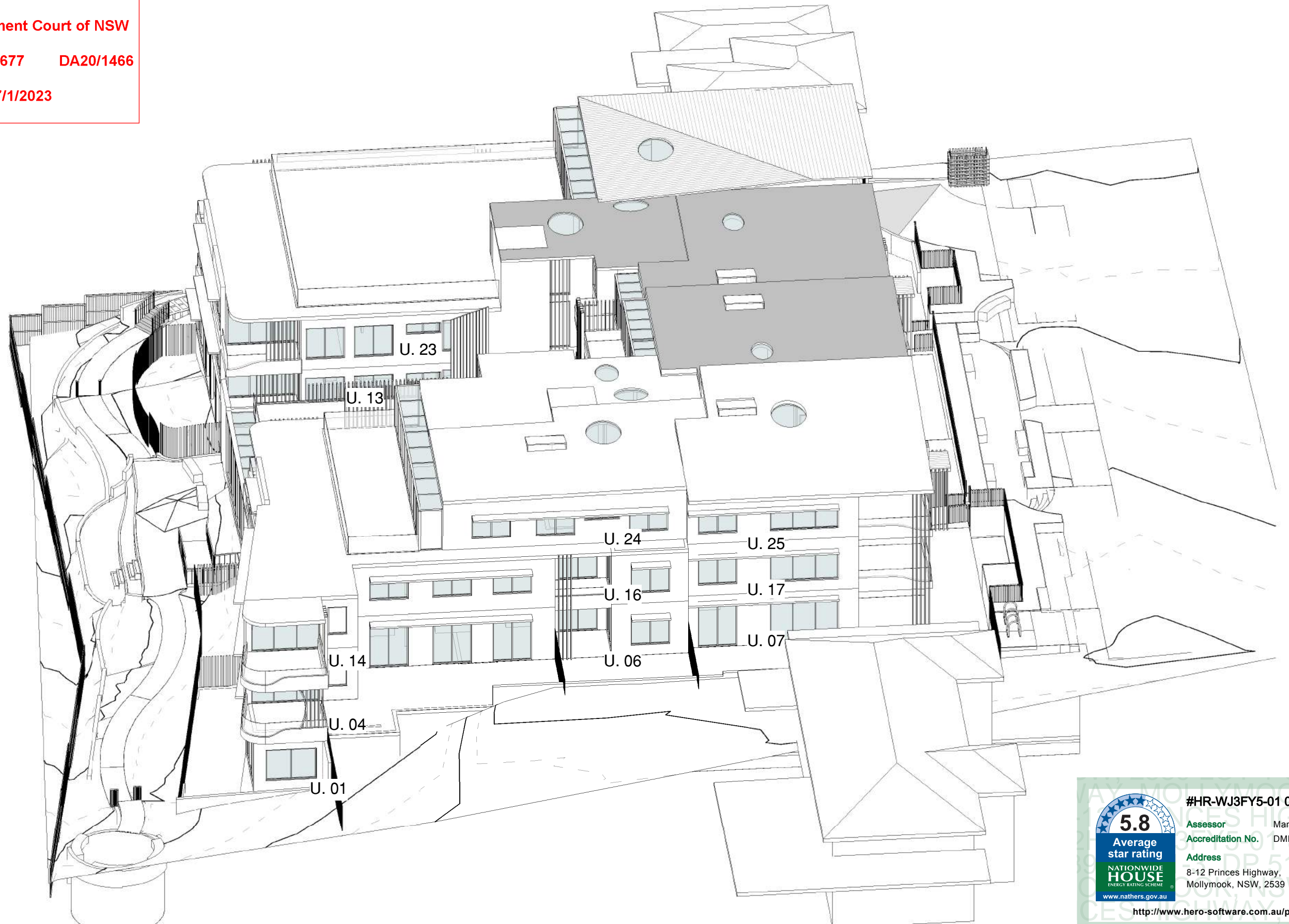


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Date: 27/1/2023



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Average  
star rating  
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Assessor Manuel Basiri  
Accreditation No. DMN/12/1462  
Address 8-12 Princes Highway,  
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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	WINTER SOLAR ACCESS - 1PM (FROM SUN ANGLE VIEWS)	18-0040.1	@ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: AC	CHECKED: GR
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
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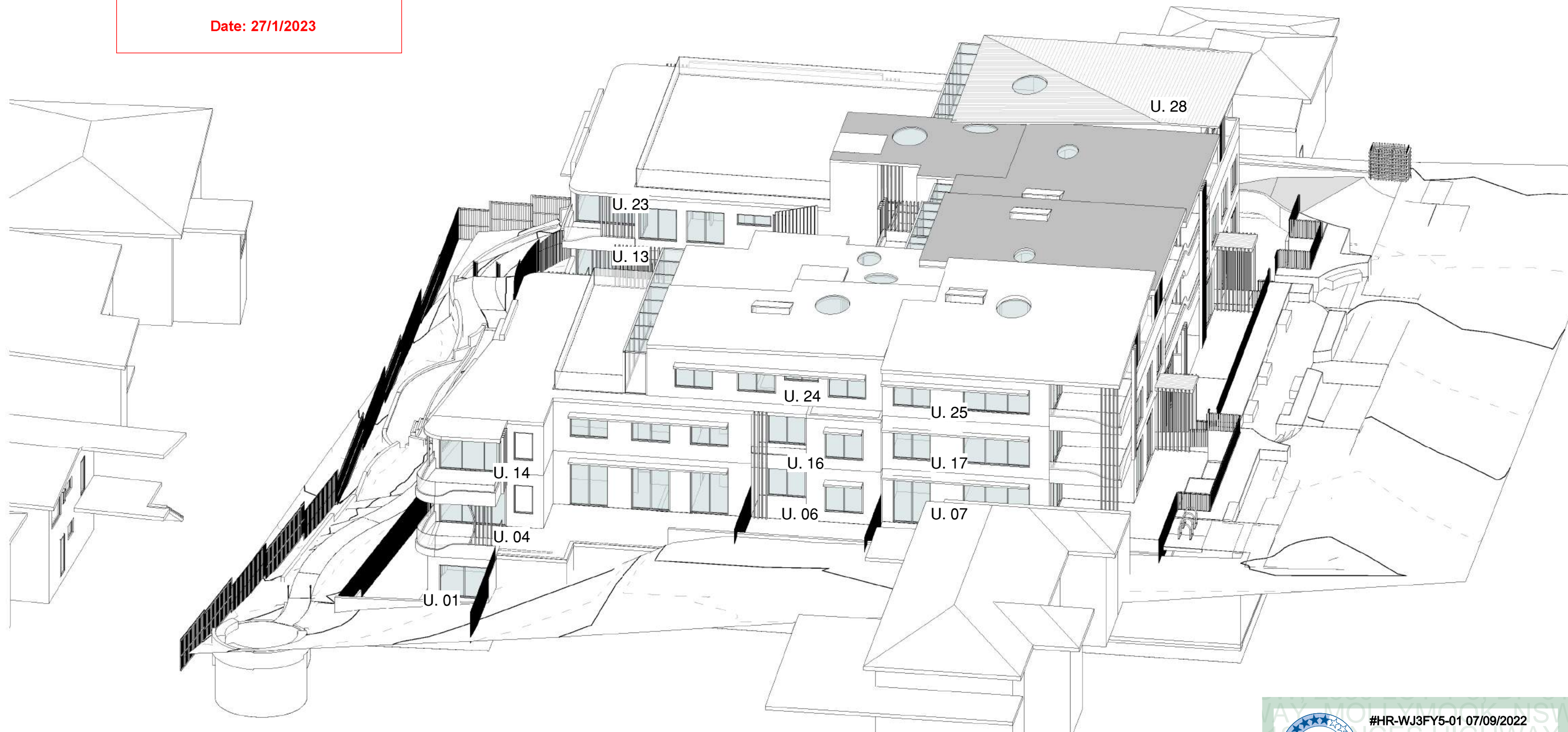


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**5.8**  
Average  
star rating

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Accreditation No. DMN/12/1462

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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	WINTER SOLAR ACCESS - 2PM (FROM SUN ANGLE VIEWS)	18-0040.1	@ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: AC	CHECKED: GR
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA32	P5
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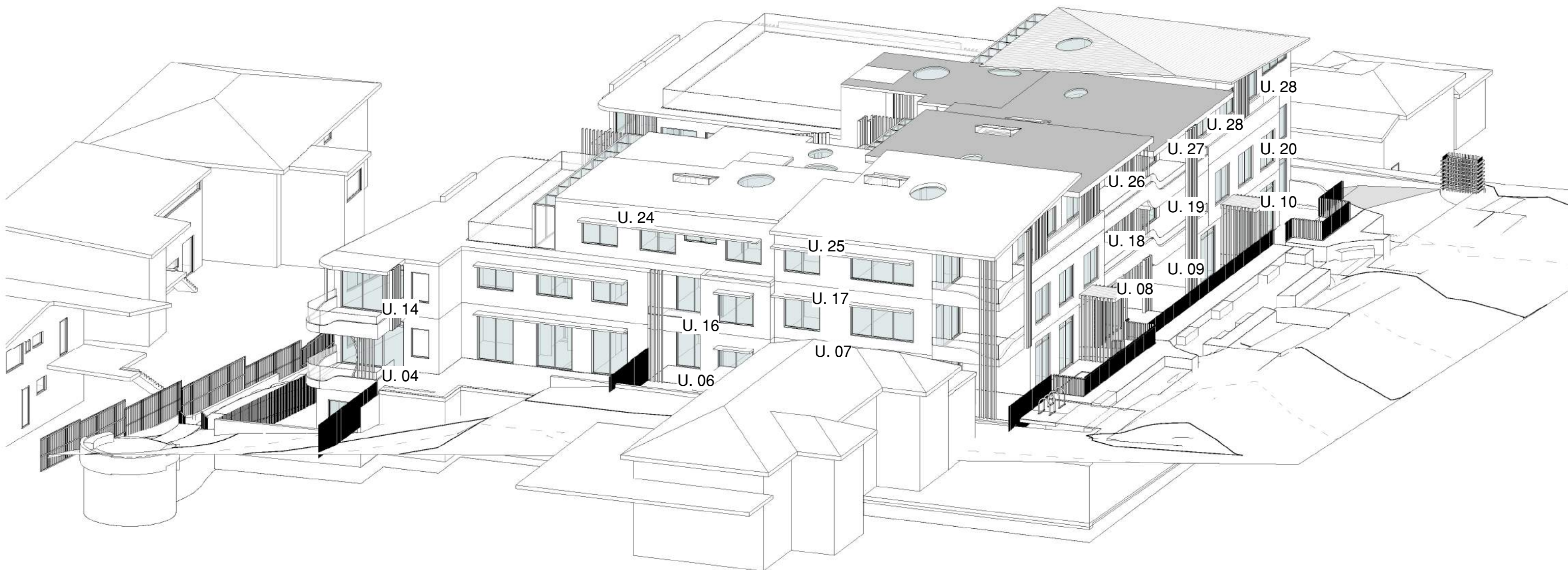


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Date: 27/1/2023



**5.8**  
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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	WINTER SOLAR ACCESS - 3PM (FROM SUN ANGLE VIEWS)	18-0040.1	@ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	31/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: AC	CHECKED: GR
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
P5	REVISIONS FROM CONCILIATION MEETING	31/08/22		DA33	P5
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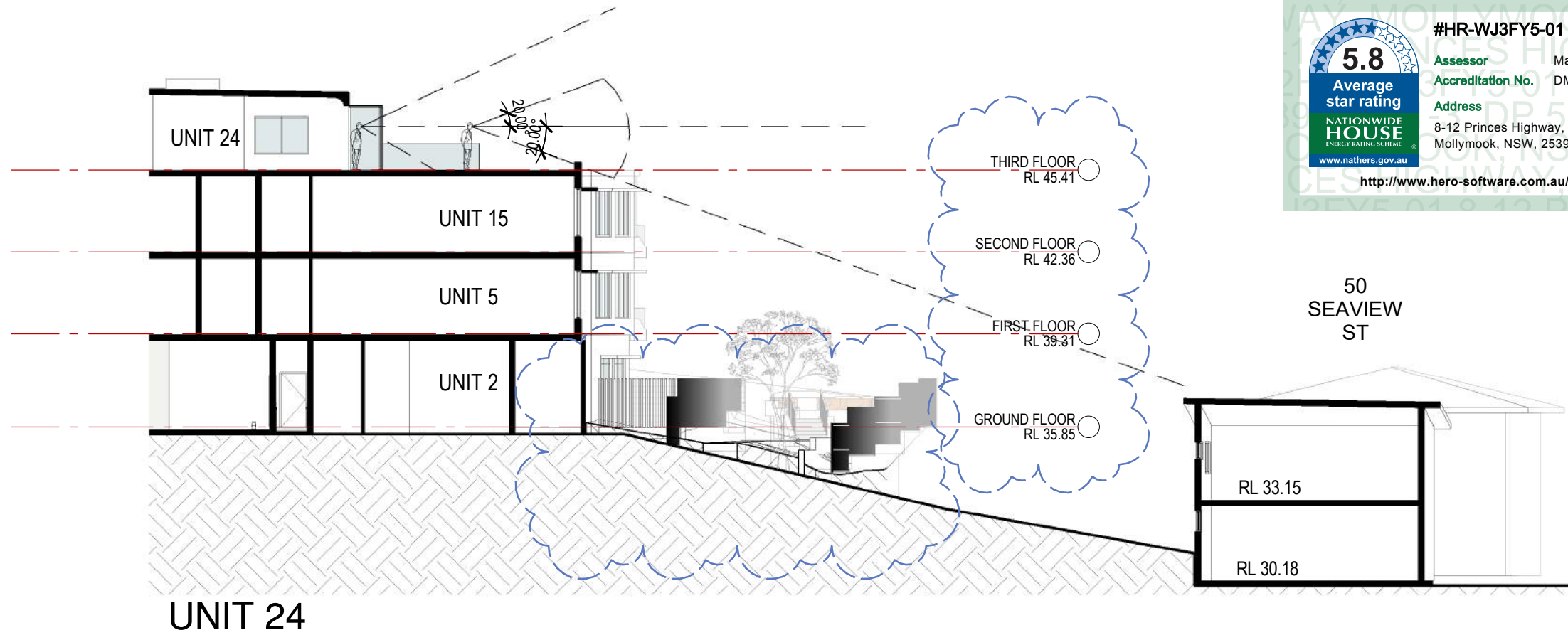


**5.8**  
Average star rating  
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Assessor: Manuel Basiri  
Accreditation No.: DMN/12/1462  
Address: 8-12 Princes Highway, Mollymook, NSW, 2539

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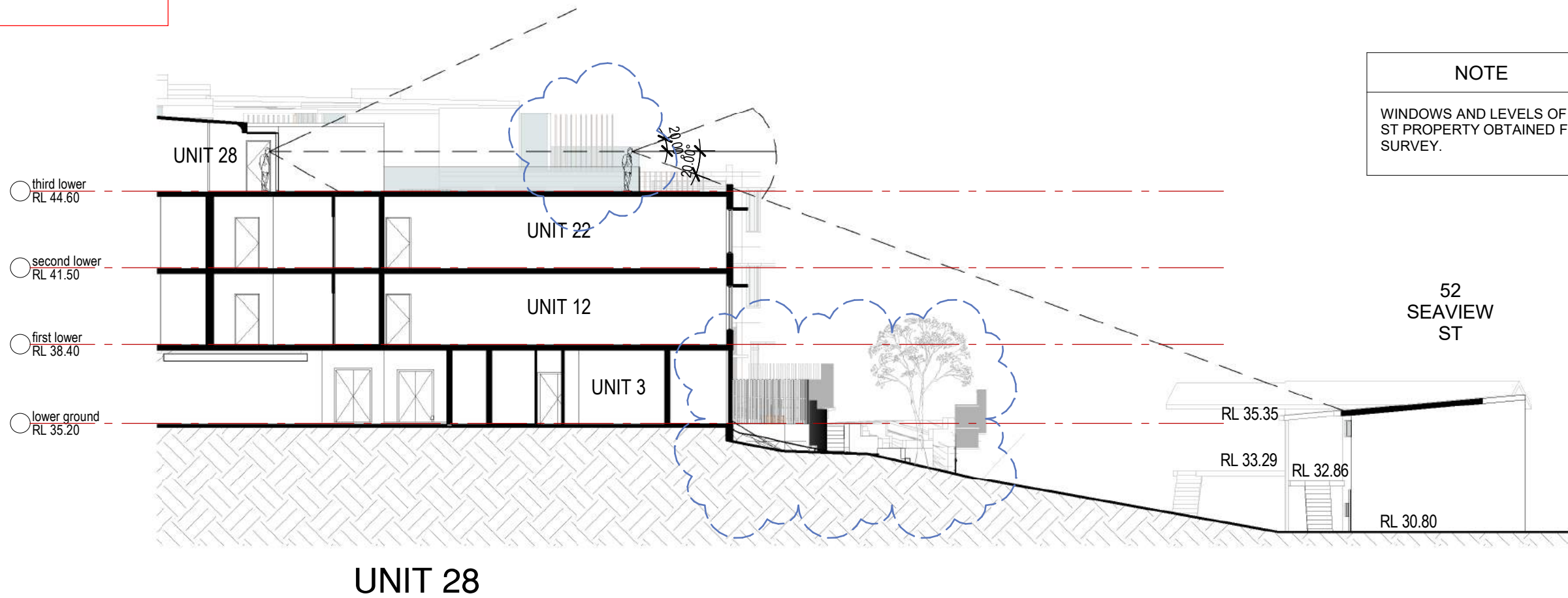


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Date: 27/1/2023



NOTE

WINDOWS AND LEVELS OF SEAVIEW ST PROPERTY OBTAINED FROM SURVEY.

Proposed Residential Development

For R&G Creations

At 8-12 Princes Highway, Mollymook NSW 2539

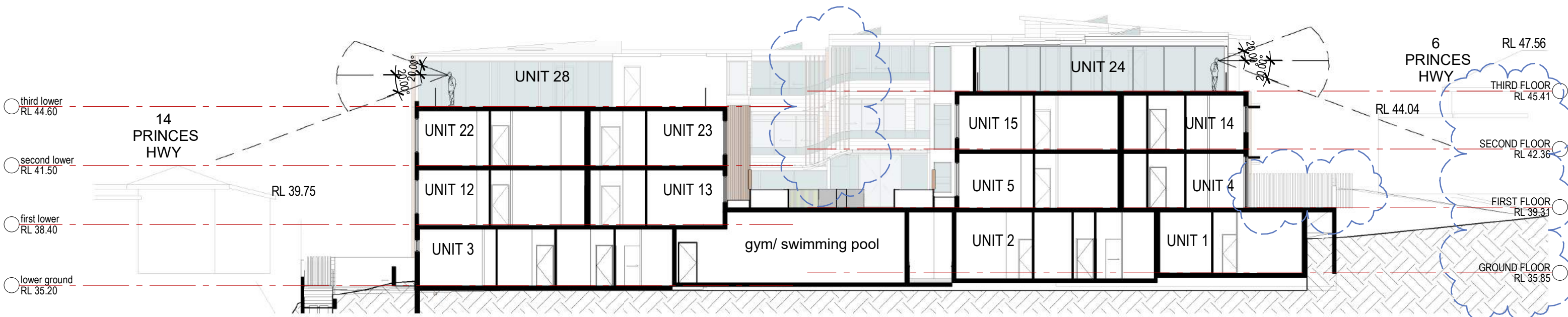
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REV.	DESCRIPTION	DATE
P1	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P2	UNITS 24 & 28 BALUSTRADE MOVED FURTHER AWAY FROM EDGE. WINDOWS AND LEVELS OF SEAVIEW ST PROPERTIES ADDED.	26/08/22
P3	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE
VIEW LINE ANALYSIS 1
PROJECT #: 18-0040.1
SCALE: 1 : 200 @ A3
DATE: 31/08/22
DRAWN: LM      CHECKED: GR
DRAWING NO.      REVISION
DA34      P3
7/09/2022 1:19:11 PM





UNIT 24 & 28

NOTE

WINDOWS AND LEVELS OF SEAVIEW ST PROPERTY OBTAINED FROM SURVEY.

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Proposed Residential Development  
For R&G Creations  
At 8-12 Princes Highway, Mollymook NSW 2539

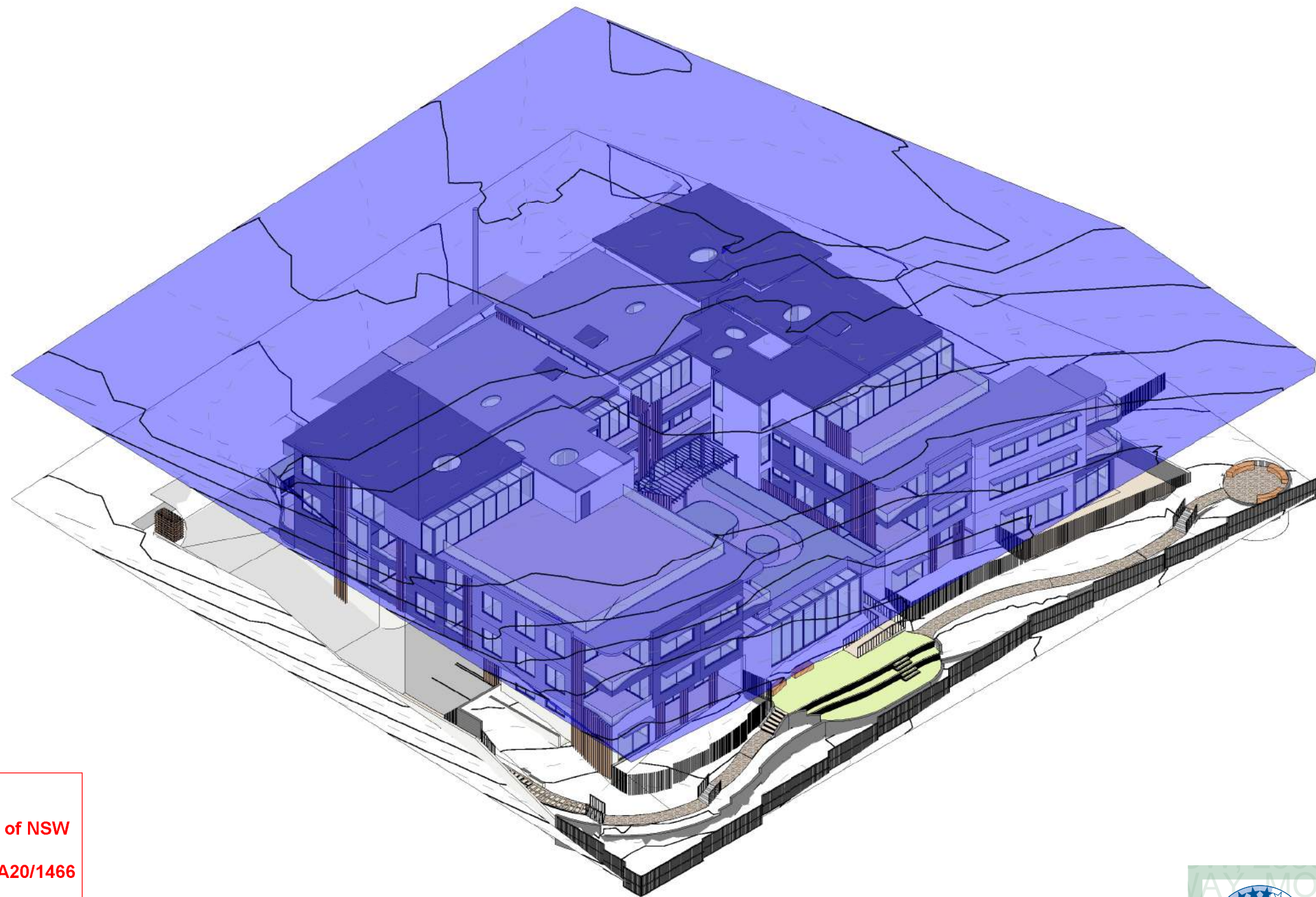
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REV.	DESCRIPTION	DATE
P1	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22
P2	UNITS 24 & 28 BALUSTRADE MOVED FURTHER AWAY FROM EDGE. WINDOWS AND LEVELS OF SEAVIEW ST PROPERTIES ADDED.	26/08/22
P3	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
VIEW LINE ANALYSIS 2	
PROJECT #:	18-0040.1
SCALE:	1 : 200 @ A3
DATE:	31/08/22
DRAWN: LM	CHECKED: GR
DRAWING NO.	REVISION
DA35	P3
7/09/2022 1:19:11 PM	





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Date: 27/11/2023



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Average  
star rating

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**Assessor** Manuel Basiri

**Accreditation No.** DMN/12/1462

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REV.	DESCRIPTION	DATE	DRAWING TITLE	PROJECT #:	SCALE:
P1	ISSUED TO REVIEW	31/05/22	BUILDING HEIGHT ENVELOPE	18-0040.1	@ A3
P2	ALTERNATE DESIGN SUBMISSION	11/07/22		DATE:	26/08/22
P3	REVISIONS FOLLOWING COUNCIL COMMENTS	28/07/22		DRAWN: LM	CHECKED: GR
P4	REVISIONS	26/08/22		DRAWING NO.	REVISION
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				7/09/2022 1:19:12 PM	




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Date: 27/1/2023



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Average  
star rating


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Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 8-12 Princes Highway,  
Mollymook, NSW, 2539

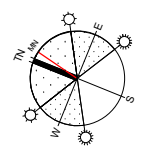


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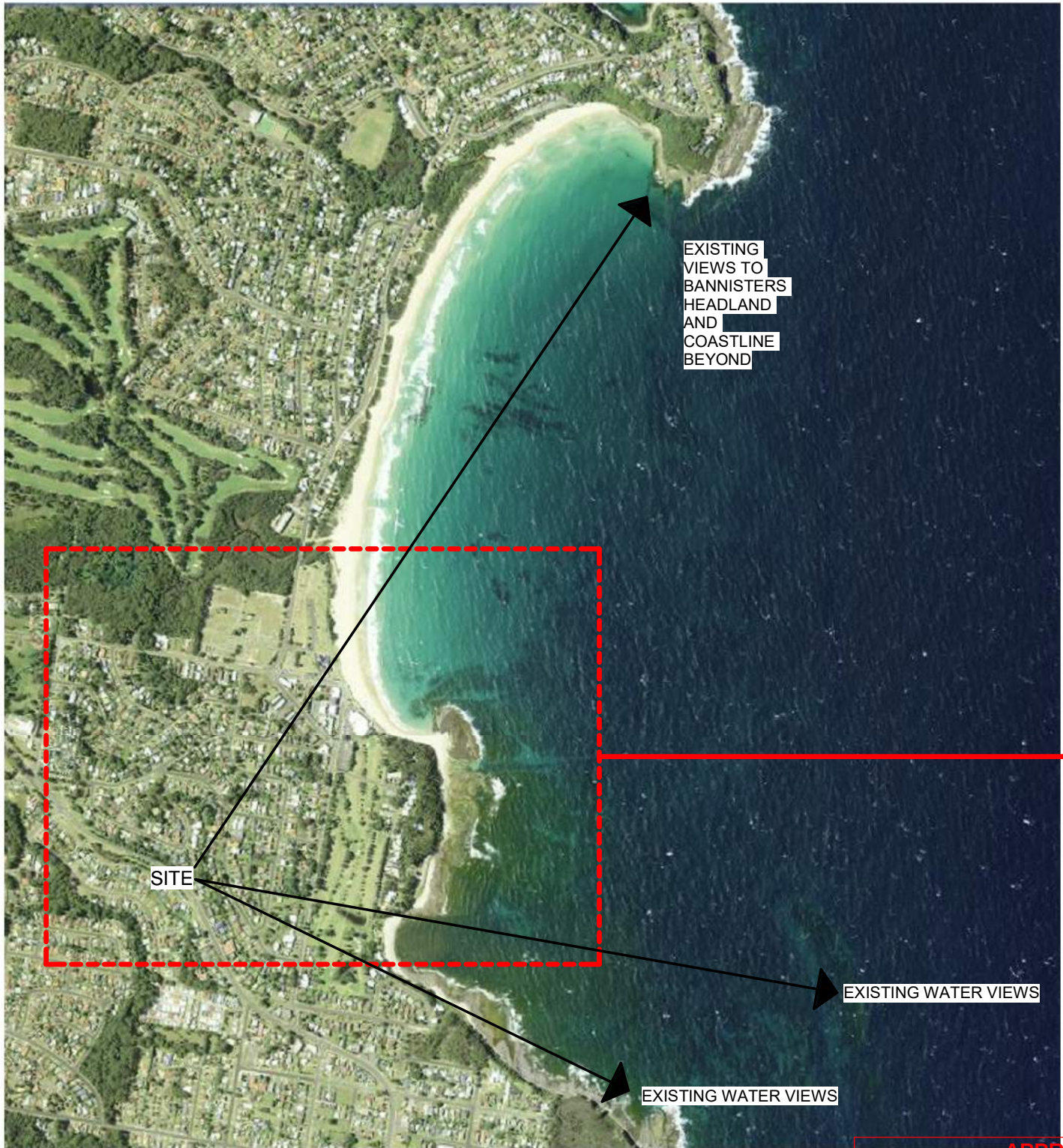


REV.	DESCRIPTION	DATE
P1	SITE CONTEXT ADDED ON FLOOR PLAN	26/08/22
P2	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
SITE CONTEXT GROUND	

PROJECT #: 18-0040.1	
SCALE: 1 : 400 @ A3	
DATE: 31/08/22	
DRAWN: LM    CHECKED: GR	
DRAWING NO.	REVISION
DA37A	P2
7/09/2022 1:19:13 PM	





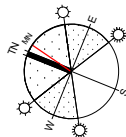
**APPROVED**  
**Land and Environment Court of NSW**  
**LEC No: 2021/00329677      DA20/1466**  
**Date: 27/1/2023**



**#HR-WJ3FY5-01 07/09/2022**  
**Assessor** Manuel Basiri  
**Accreditation No.** DMN/12/1462  
**Address** 8-12 Princes Highway,  
Mollymook, NSW, 2539  
<http://www.hero-software.com.au/pdf/HR-WJ3FY5-01>



# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539



REV.	DESCRIPTION	DATE
P1	VIEW DIAGRAMS	29/08/22
P2	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
VIEW DIAGRAMS	
PROJECT #:	18-0040.1
SCALE:	1 : 500 @ A3
DATE:	31/08/22
DRAWN:	AC
CHECKED:	GR
DRAWING NO.	DA38A
REVISION	P2

7/09/2022 1:19:19 PM
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EXAMPLE OF NORTH EAST VIEW FROM 8 PRINCES HIGHWAY



EXAMPLE OF SOUTH EAST VIEW FROM 8 PRINCES HIGHWAY

**APPROVED**  
**Land and Environment Court of NSW**  
**LEC No: 2021/00329677      DA20/1466**  
**Date: 27/1/2023**

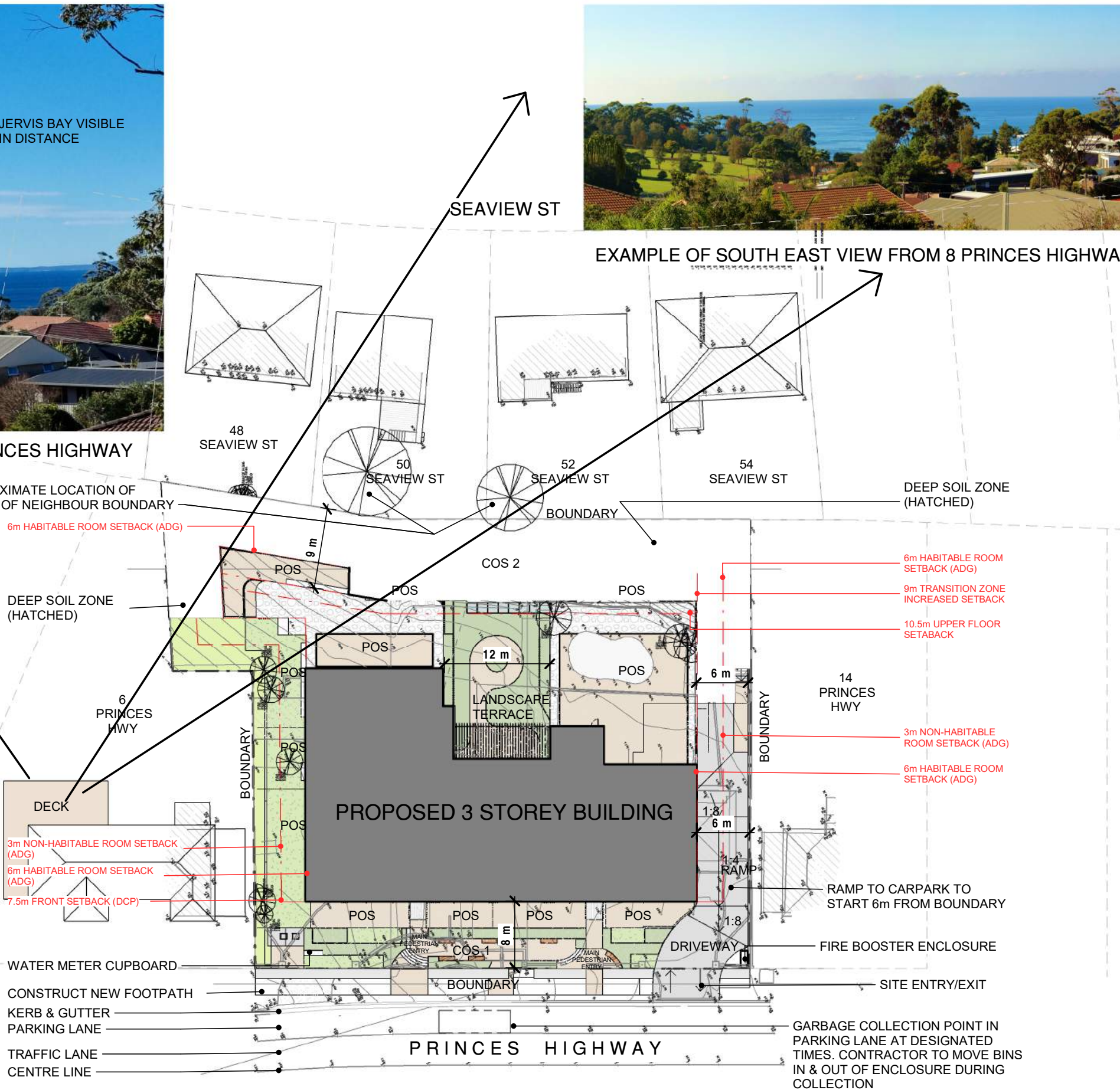


**#HR-WJ3FY5-01 07/09/2022**

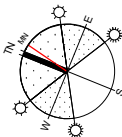
**Assessor** Manuel Basiri  
**Accreditation No.** DMN/12/1462  
**Address** 8-12 Princes Highway, Mollymook, NSW, 2539



<http://www.hero-software.com.au/pdf/HR-WJ3FY5-01>



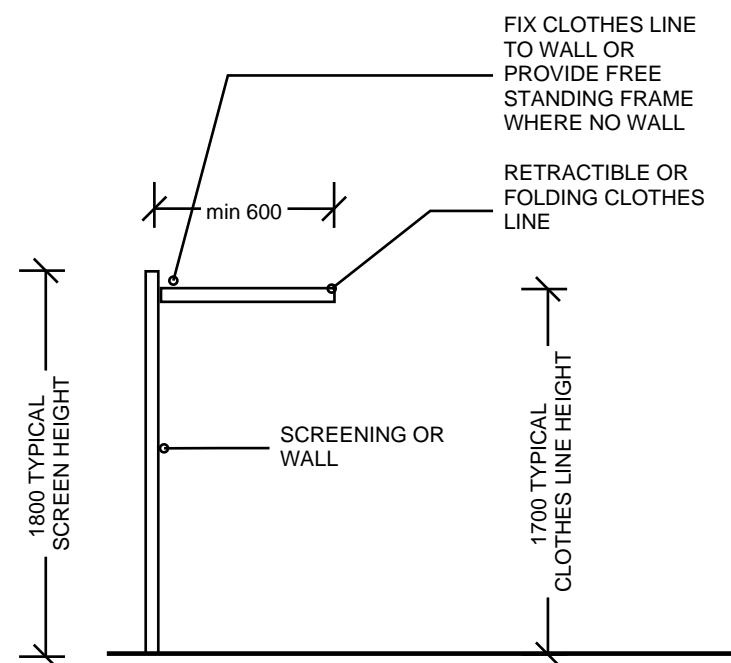
# Proposed Residential Development For R&G Creations At 8-12 Princes Highway, Mollymook NSW 2539



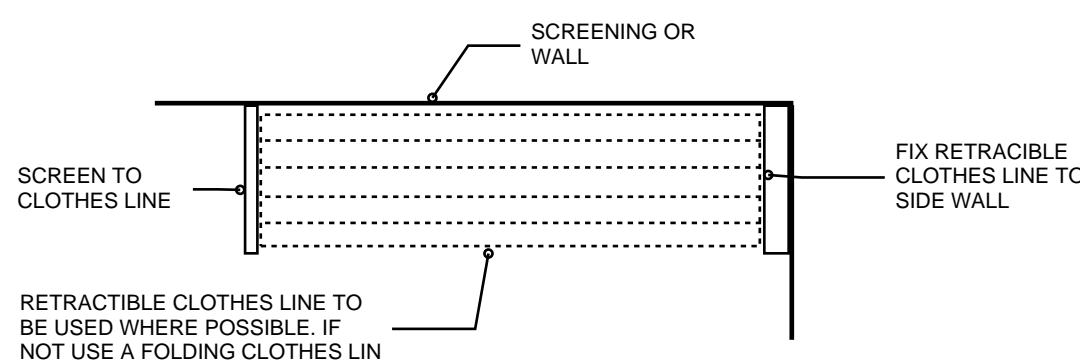
REV.	DESCRIPTION	DATE
P1	VIEW DIAGRAMS	29/08/22
P2	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE	
VIEW DIAGRAMS	
PROJECT #:	18-0040.1
SCALE:	1 : 500 @ A3
DATE:	31/08/22
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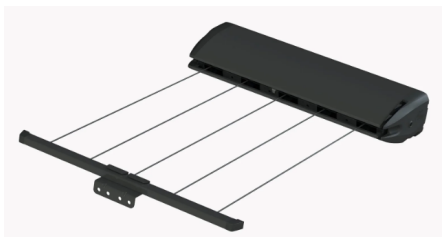
clothes line mounting section



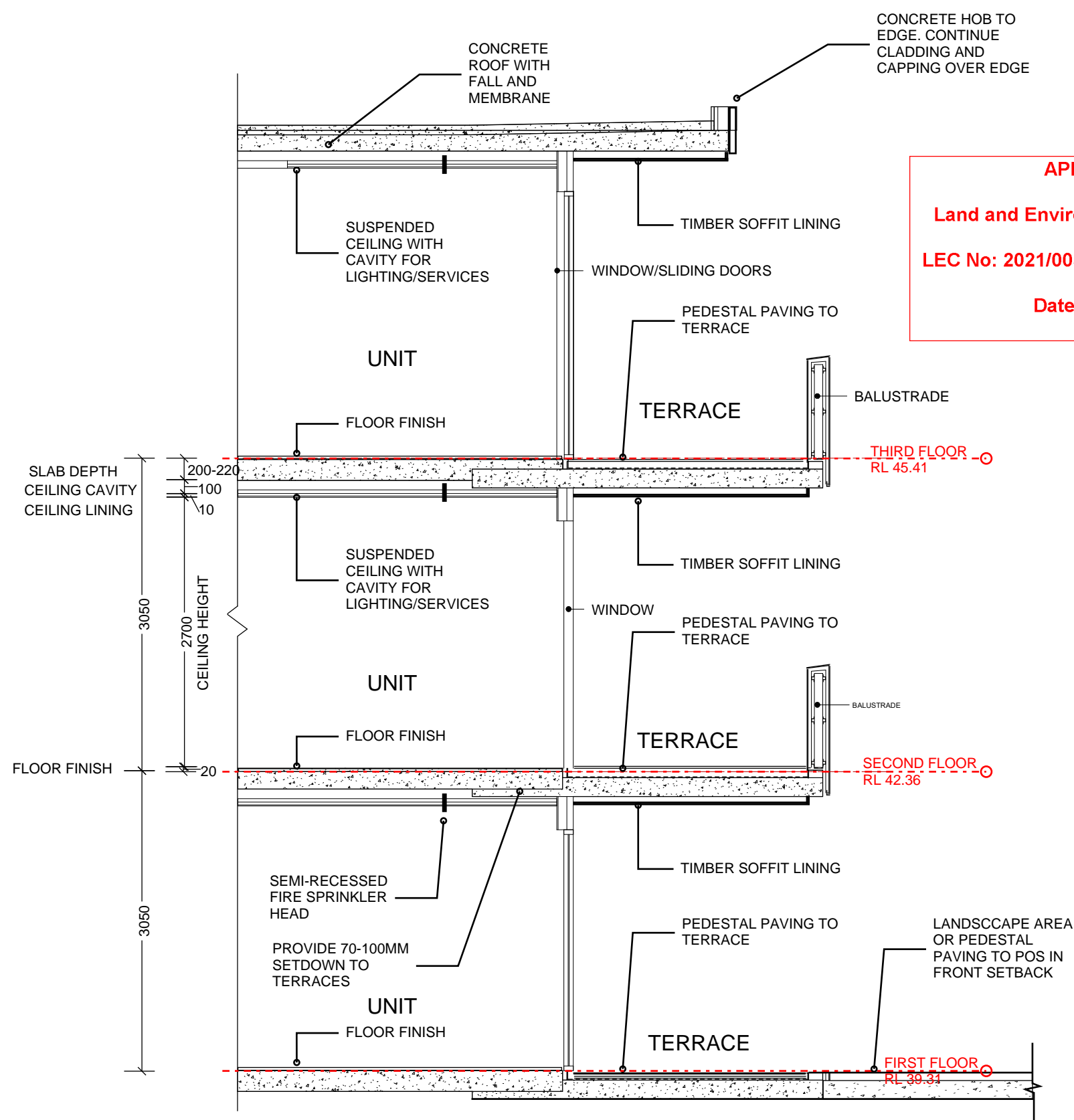
clothes line plan



example of folding clothes line



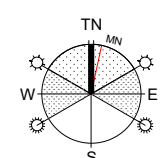
example of retractable clothes line



typical walls section

**APPROVED**  
**Land and Environment Court of NSW**  
**LEC No: 2021/00329677      DA20/1466**  
**Date: 27/1/2023**

**Proposed Residential Development  
 For R&G Creations  
 At 8-12 Princes Highway, Mollymook NSW 2539**



REV	DESCRIPTION	DATE
P1	REVISIONS FROM CONCILIATION MEETING	31/08/22

DRAWING TITLE <b>CONSTRUCTION DETAIL</b>		PROJECT #: 18-0040.1 SCALE: 1:25 @ A1 DATE: 08/31/22 DRAWN: AC CHECKED: GR
DRAWING NO. <b>DA39</b>	REVISION <b>P1</b>	7/09/2022 8:58:22 AM



Project: Proposed Residential Development  
 For: R&G Creations  
 Job No: 18-0040  
 Date: 5/10/2022



# SCHEDULE OF DWELLINGS

Unit No	Bedrooms	Gross Floor Area (m2)	POS area (m2)	Landscape Area (m2)	Storage (m3)
<b>Dwellings</b>					
<b>GROUND</b>					
Unit 1	2B	98	60	-	13.2
Unit 2	2B	85	17	30.45	8.13
Unit 3	3B	112	23	45.59	11.80
<b>FIRST</b>					
Unit 4	3B	113	16	48.5	11.0
Unit 5	2B	76	15	-	9.3
Unit 6	1B	56	8	29.6	9.2
Unit 7	3B	114	48	81.5	14.3
Unit 8	1B	72	30	-	12.5
Unit 9	2B	86	50	-	9.1
Unit 10	3B	103	46	-	10.1
Unit 11	1B	58	9	-	11.8
Unit 12	3B	104	18	-	10.8
Unit 13	2B	81	11	-	9.0
<b>SECOND</b>					
Unit 14	3B	113	12	-	11.0
Unit 15	2B	76	17	-	9.3
Unit 16	1B	56	8	-	9.2
Unit 17	3B	114	48	-	14.3
Unit 18	3B	111	18	-	10.4
Unit 19	3B	115	21	-	16.8
Unit 20	3B	103	17	-	10.1
Unit 21	1B	58	9	-	11.8
Unit 22	3B	104	18	-	10.8
Unit 23	2B	81	11	-	9.0
<b>THIRD</b>					
Unit 24	3B	139	66	-	14.4
Unit 25	3B	108	16	-	10.6
Unit 26	3B	109	31	-	10.1
Unit 27	3B	112	27	-	12.6
Unit 28	4B	144	205	-	15.8

**APPROVED**

**Land and Environment Court of NSW**

**LEC No: 2021/00329677 DA20/1466**

**Date: 27/1/2023**

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**NOWRA**  
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Nom. Architect: Mark Jones Reg. No. 4474 | Edmiston Jones Pty Ltd | ABN 67 003 163 451